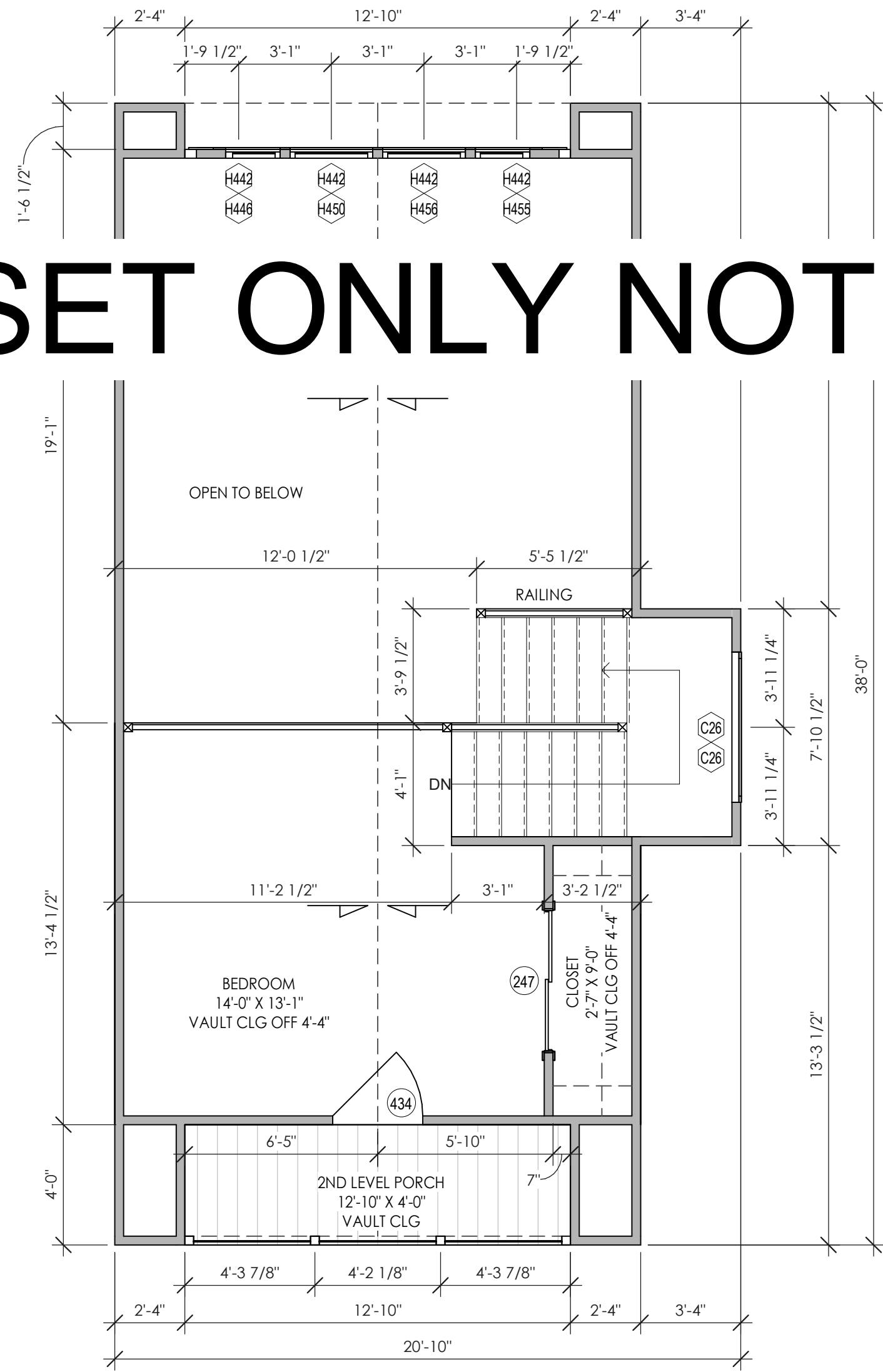
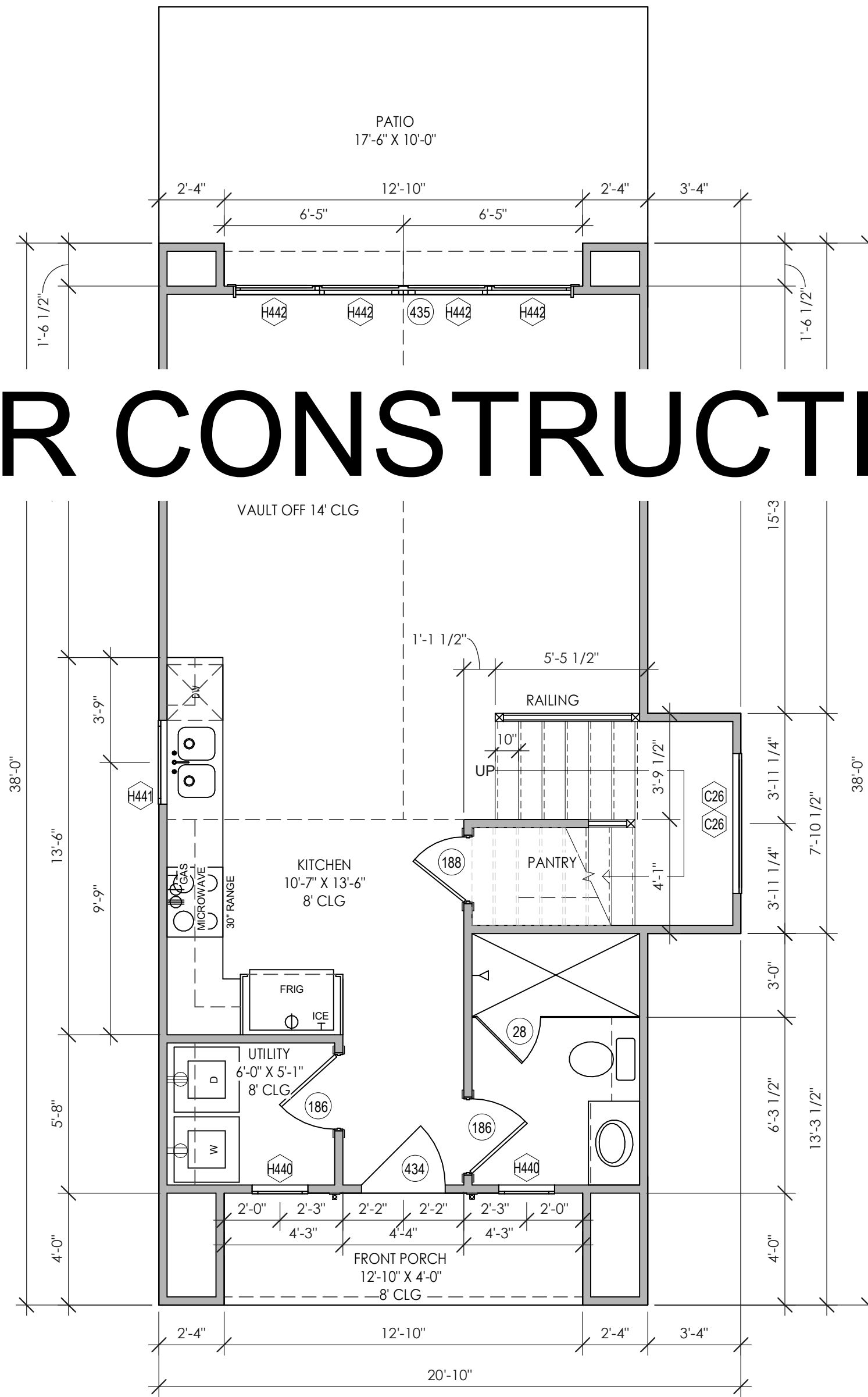


REVIEW SET ONLY NOT FOR CONSTRUCTION



2 2ND FLOOR
1/4" = 1'-0"



1 1ST FLOOR
1/4" = 1'-0"

DOOR SCHEDULE

Type Mark	DESCRIPTION
28	2'-4" X 6'-8" TEMPERED GLASS SHOWER DOOR
186	2'-8" X 6'-8"
188	2'-4" X 6'-8"
247	(2) 2'-4" X 6'-8" BYPASS SLIDER HOLLOW CORE
434	3'-0" x 6'-8" EXTERIOR
435	DOOR - 3'-0" X 8'-0" QUAD SLIDER

WINDOW SCHEDULE

IMPORTANT: REVIEW ELEVATIONS WHEN ORDERING DOORS & WINDOWS, ENSURE TEMPERED GLASS IS ORDERED WHERE CODE REQUIRES

TYPE MARK	WIDTH	HEIGHT	SILL HEIGHT	OPERATION	UNIT	TYPE	QTY
C26	5'-0"	5'-0"	<varies>	FIXED	SINGLE	1 LITE	2
H440	2'-0"	4'-0"	2'-8"	CASEMENT	SINGLE	1 LITE	2
H441	3'-0"	4'-0"	3'-0"	CASEMENT	SINGLE	1 LITE	1
H442	2'-9"	2'-9"	<varies>	FIXED	SINGLE	1 LITE	4
H446				FIXED	SINGLE	1 LITE	1
H450				FIXED	SINGLE	1 LITE	1
H455				FIXED	SINGLE	1 LITE	1
H456				FIXED	SINGLE	1 LITE	1

TOTAL PROJECT WINDOWS: 13

AREAS

LOCATION:	SQ. FT.
1ST FLOOR LIVING:	594 SF
BACK PORCH:	168 SF
BACK PORCH:	7 SF
FRONT PORCH:	51 SF
FRONT PORCH:	19 SF
TOTAL:	839 SF

AREA LIVING

LOCATION:	SQ. FT.
1ST FLOOR LIVING:	594 SF
2ND FLOOR LIVING:	210 SF
TOTAL LIVING:	804 SF

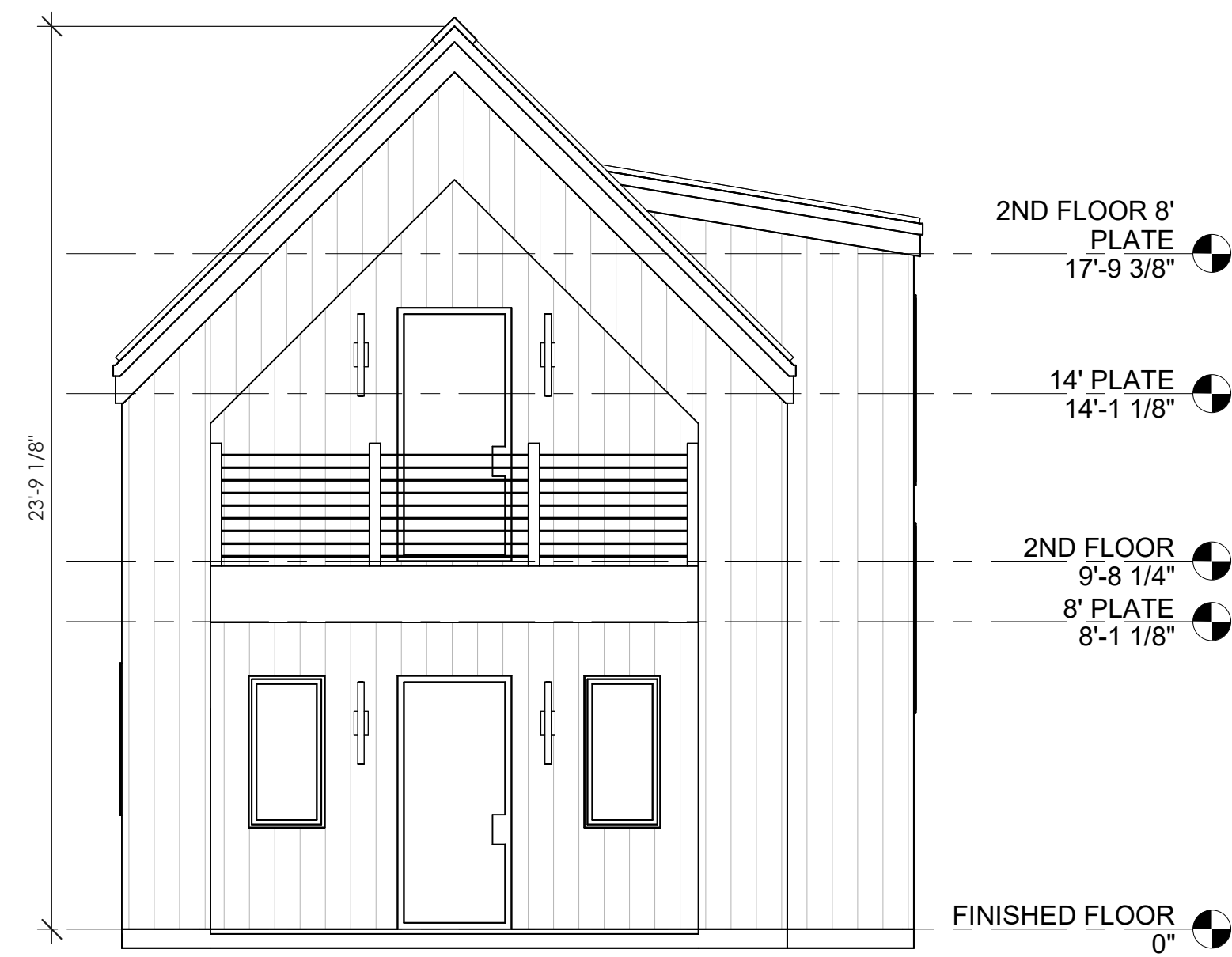
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SCALE: 1/4" = 1'-0"

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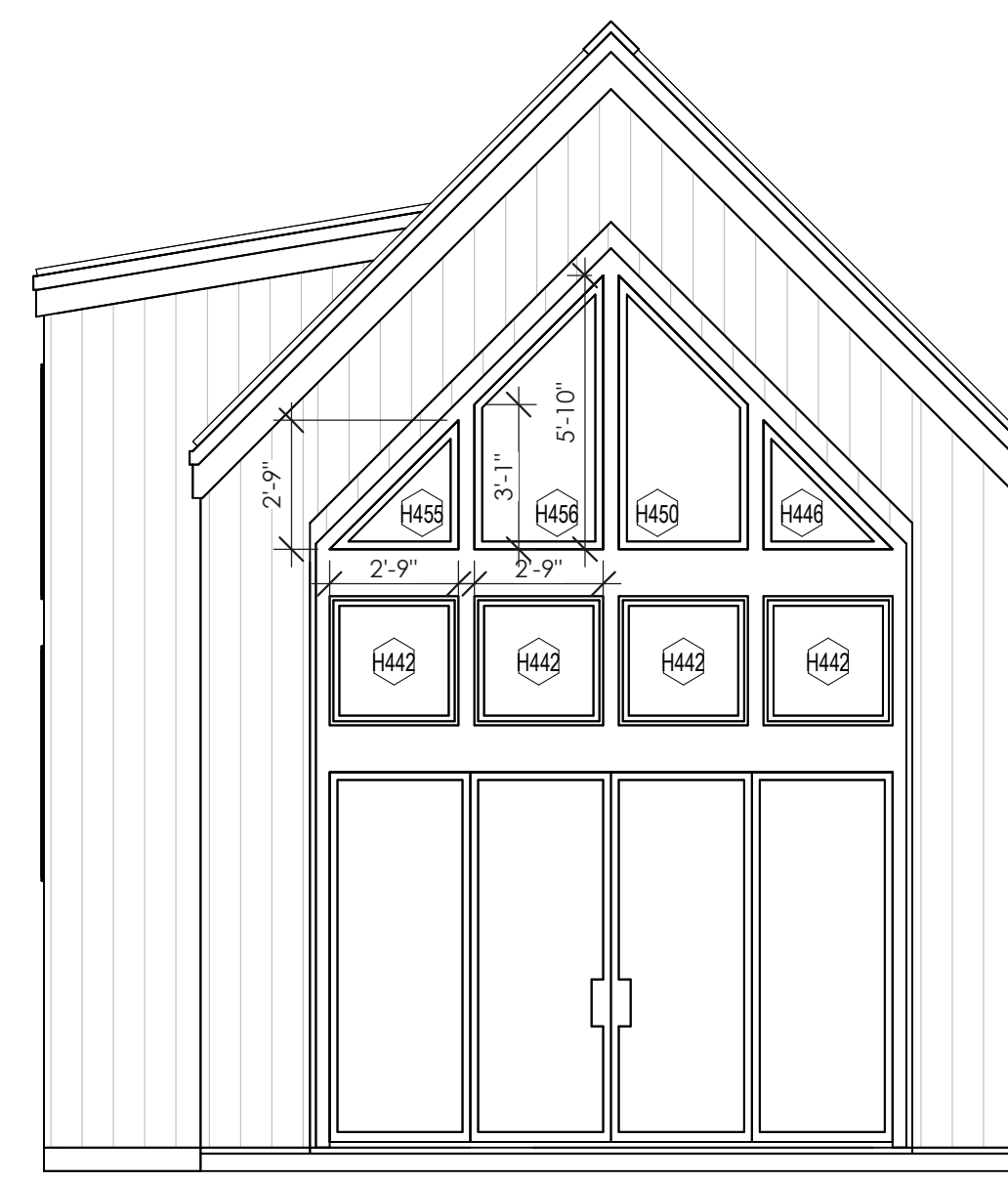
GENERAL NOTES:

- A.C. VENTS IN MASTER CLOSET.
- ALL SMOKE / CO DETECTORS SHALL BE HARDWIRED.
- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH CITY OR COUNTY BUILDING CODES AND ORDINANCES.
- GENERAL & SUBCONTRACTORS SHALL VERIFY DIMENSIONS AND EXISTING SITE CONDITIONS. STARTING OF WORK SHALL MEAN ACCEPTANCE OF SUCH CONDITIONS.
- LOCATION OF SEWAGE, STORM DRAINAGE, EASEMENTS, AND BUILDING SETBACKS VERIFIED AT JOB SITE PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS ON EXTERIOR WALLS ARE FROM OUTSIDE OF FOUNDATION TO FACE OF STUD OR FACE OF MASONRY TO FACE OF STUD.
- ALL DIMENSIONS ON INTERIOR WALLS ARE FROM FACE OF STUD TO FACE OF STUD.
- ALL DIMENSIONS TO OPENINGS ARE FROM FOUNDATION TO CENTER OF OPENING.
- ALL EXHAUST FANS IN WET AREAS SHALL BE VENTED OUTSIDE THE HOUSE.
- ALL WORK TO CONFORM TO DEED RESTRICTIONS IF APPLICABLE.
- PLANS TO BE REVIEWED BY ARCHITECTURAL CONTROL COMMITTEE.
- IF A/C IS IN ATTIC, A 3/4" PLYWOOD CATWALK SHALL GO FROM ACCESS HOLE TO UNIT, AND UNIT MUST BE WITHIN 20'
- GENERAL AND SUBCONTRACTORS SHALL VERIFY ENGINEERED DRAWINGS AND ARCHITECTURAL DRAWINGS DO NOT HAVE DISCREPANCIES.
- ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. ALL OTHER TEMPERED GLASS LOCATIONS PER CODES.
- GENERAL AND SUBCONTRACTORS TO VERIFY ALL WINDOWS MEET EGRESS CODES IN APPLICABLE LOCATIONS.
- GENERAL AND SUBCONTRACTORS TO VERIFY SIZING AND LOCATIONS OF ALL APPLIANCES AND COMPONENTS.



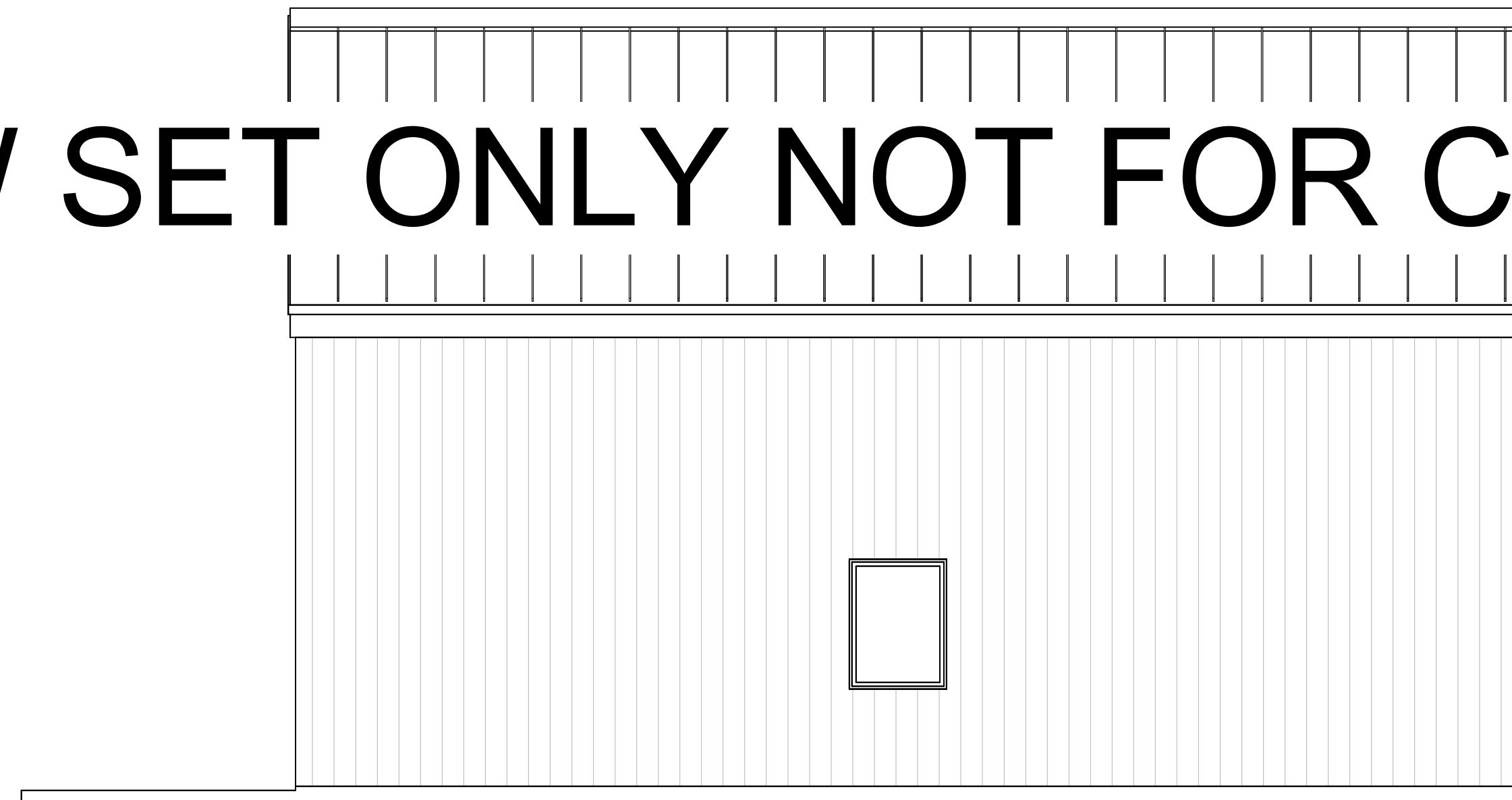


① ELEVATION FRONT
1/4" = 1'-0"

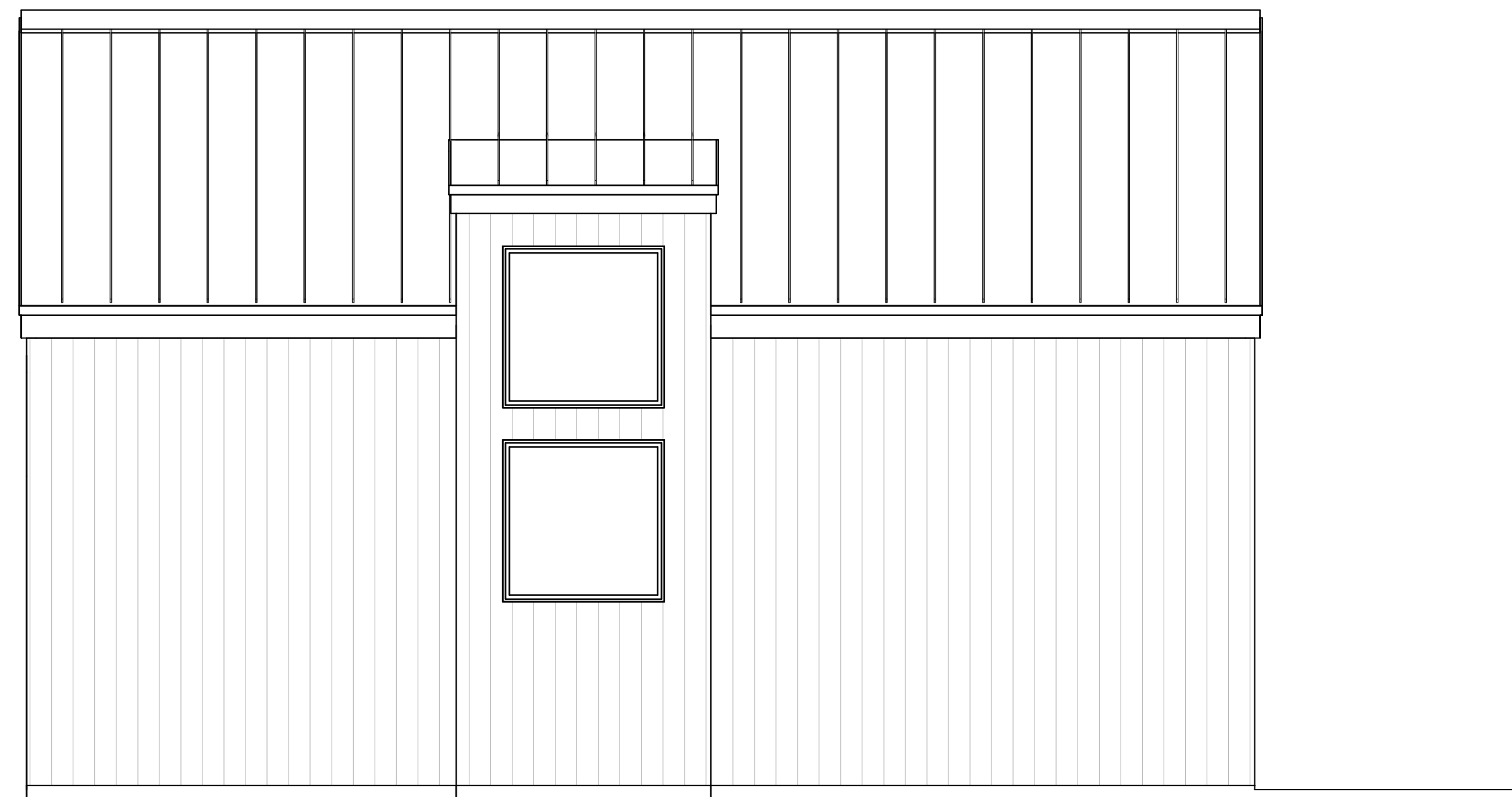


② ELEVATION BACK
1/4" = 1'-0"

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③ ELEVATION LEFT
1/4" = 1'-0"



④ ELEVATION RIGHT
1/4" = 1'-0"

ROOFING AS SEL OVER 15# OR 30# FELT OVER 7/16 MIN
DECKING NO TEARS OR MISSING PATCHES IN FELT WILL
BE ALLOWED PLACE DECKING CLIPS BETWEEN EACH
RAFTER ACROSS TOP AND BOTTOM OF DECKING

RAFTERS @ 24" O.C.
CLG JOISTS @ 16" O.C.
REF INTERNATIONAL BUILDING CODES
FOR BRACING (PURLINS AND STRONGBACKS, ETC)
REF SPAN TABLE CHARTS IN SAID CODES
TO DETERMINE SIZE OF RAFTERS AND JOIST

INSULATION IN ATTIC

DOUBLE TOP PLATE AVOID NAILING
TOGETHER BETWEEN STUDS FASTEN
CORNERS WITH 5 16d NAILS

1 X 2 TRIM OVER 1 X 6 OR 1 X 8 FASCIA
OVER 2 X 6 OR 2 X 8 SUBFASCIA

WHEN 1 HR RATING IS REQ'D INSERT 5/8"
FIRE RATED GYP BD BEHIND 1/4" HARDIE
SOFFIT & INSTALL 3/4" HARDIE FASCIA

2 X 4 OUTRIGGERS @ 24" O.C.

SOFFIT VENTS IF NOT FOAM INSULATION

1 X 4 FRIEZE BOARD

2 X 4 STUDS @ 16" O.C.
OR 2 X 6 STUDS @ 24" O.C.
REF FLOOR PLAN FOR THICKNESS

INSULATION
R13 IN 2 X 4 WALLS
R19 2 X 6 WALLS

EXTERIOR GRADE SHEATHING
(7/16" THICKNESS MIN.)
CAULK JOINTS, OR INSTALL
BUILDING WRAP IF FOIL FACED,
TAPE JOINTS WITH FOIL TAPE

SIDING AS SEL

MOISTURE RESISTANT BASE PLATE
FASTEN STUDS WITH 3 16d NAILS

○ WALL - WOOD FRAMING WITH SIDING
1" = 1'-0"

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2 FRONT LEFT VIEW

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4 REAR LEFT VIEW



5 REAR RIGHT VIEW

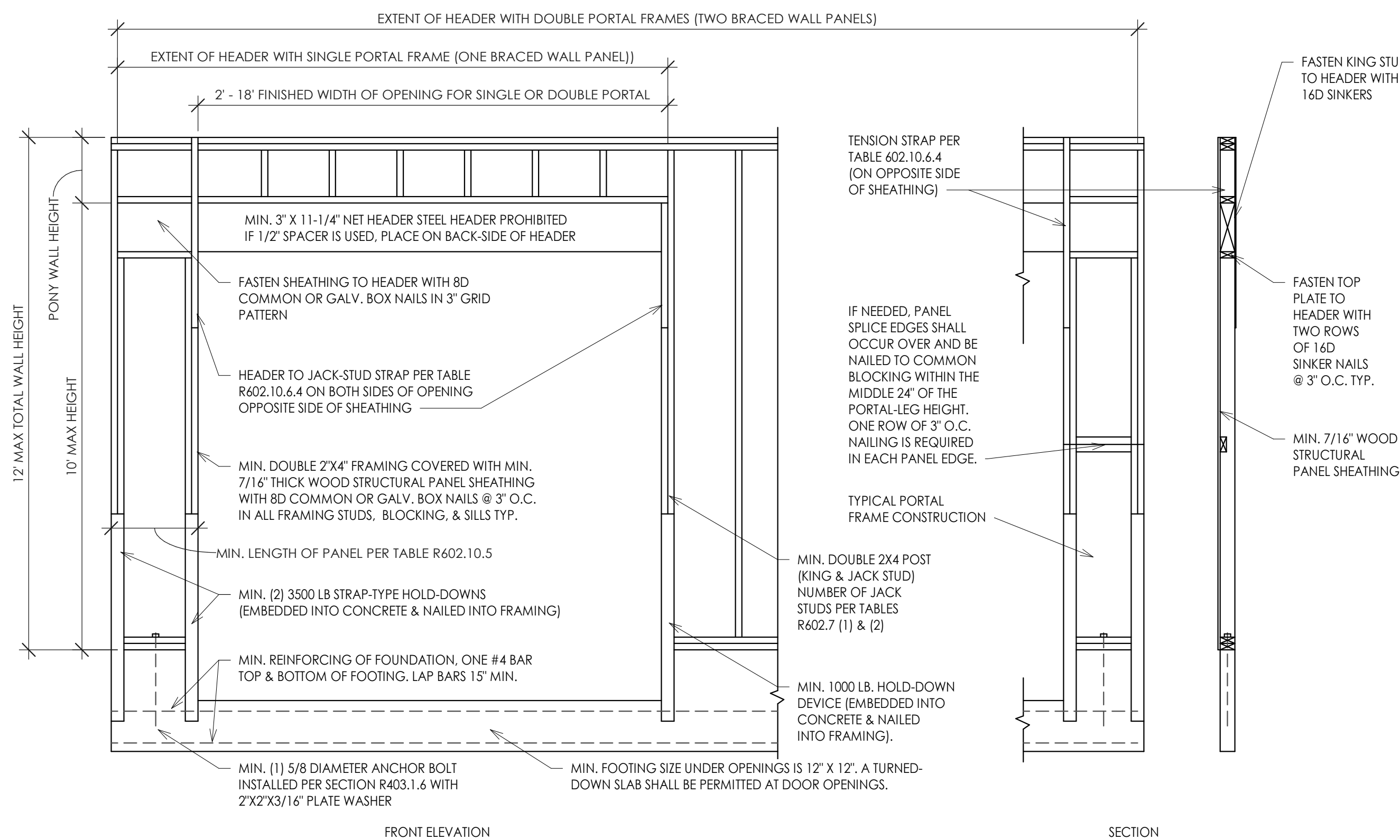


FIGURE R602.10.6.2 METHOD PHP-PORTAL FRAME WITH HOLD-DOWNS

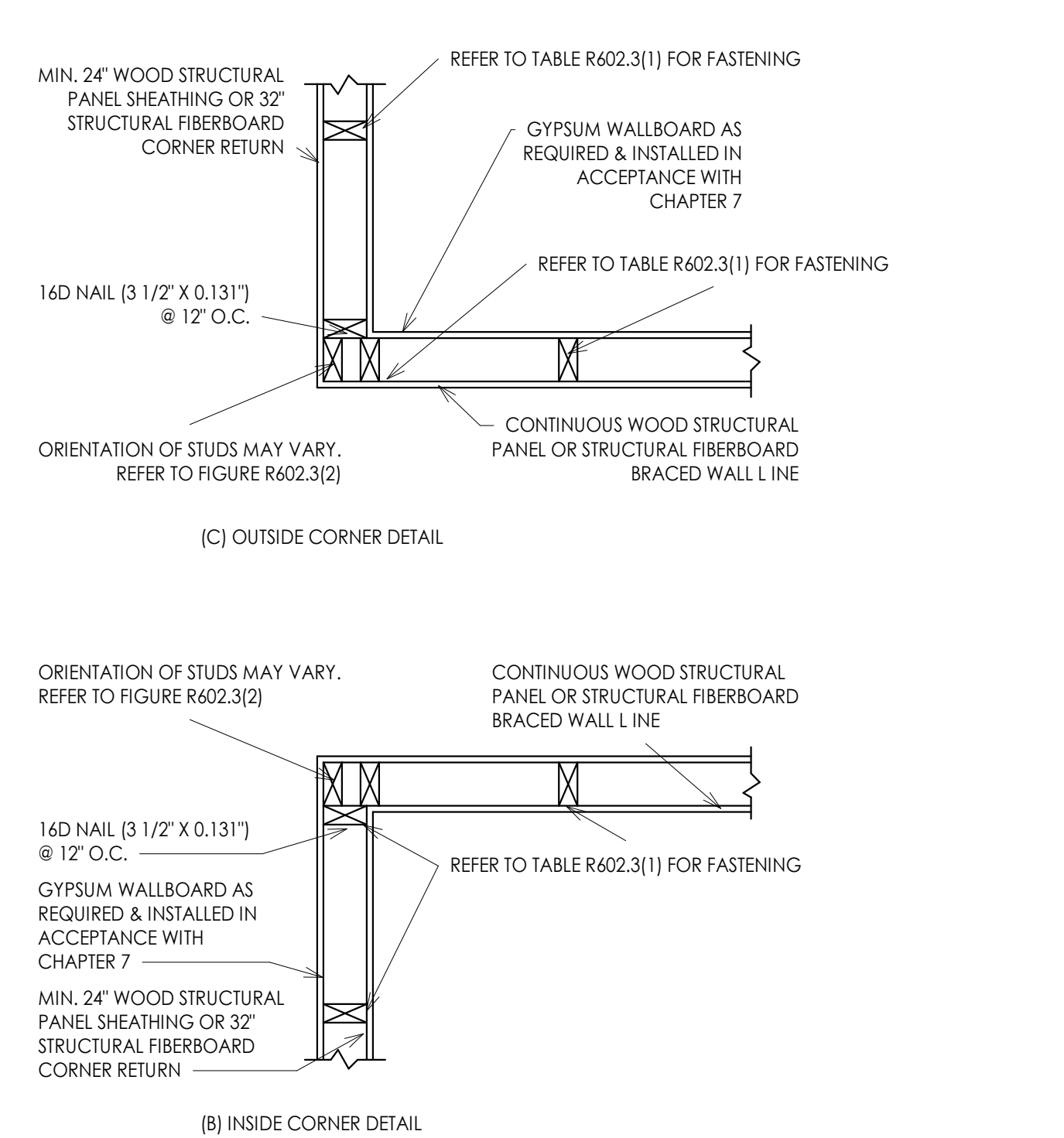
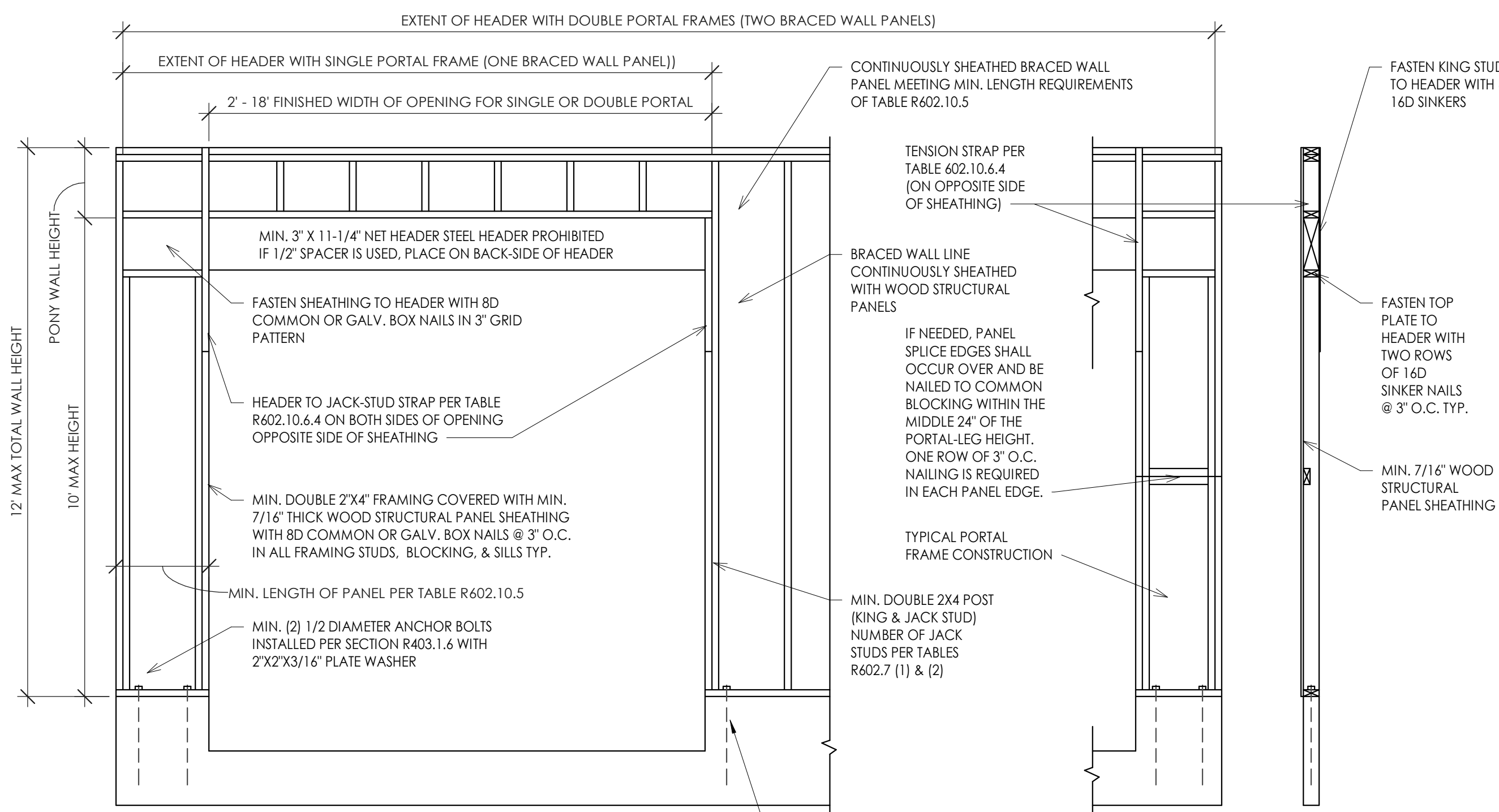


FIGURE R602.10.4.4(2) BRACED WALL LINE WITH CONTINUOUS SHEATHING FIRST BRACED WALL PANEL AWAY FROM END OF WALL LIE WITHOUT TIE DOWN

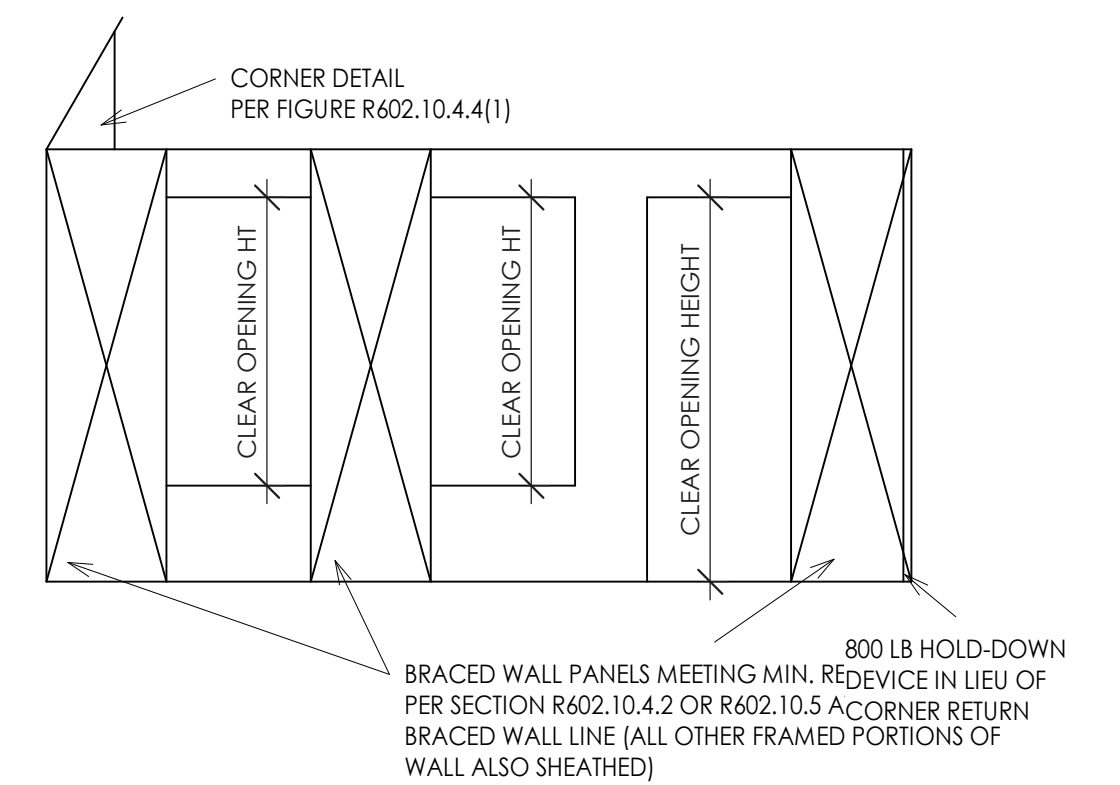


FIGURE R602.10.4.4(3) BRACED WALL LINE WITH CONTINUOUS SHEATHING WITHOUT CORNER RETURN PANEL

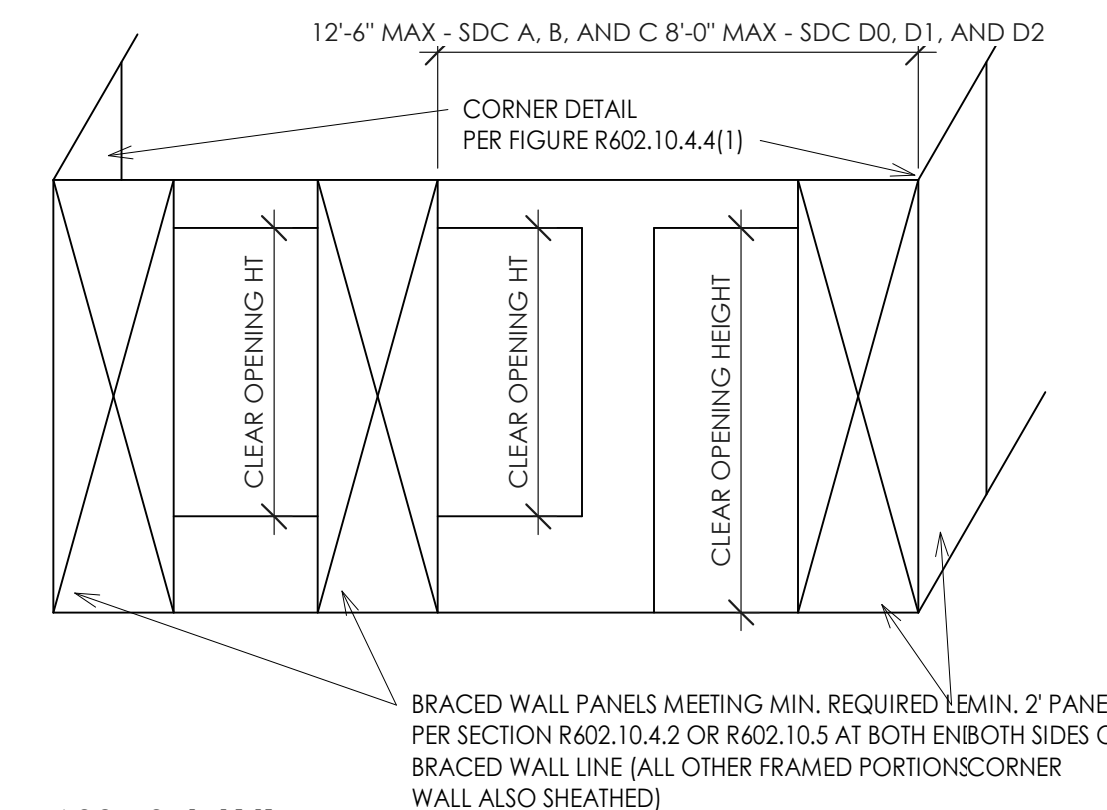


FIGURE R602.10.4.4(4) BRACED WALL LINE WITH CONTINUOUS SHEATHING FIRST BRACED WALL PANEL AWAY FROM END OF WALL LIE WITHOUT TIE DOWN

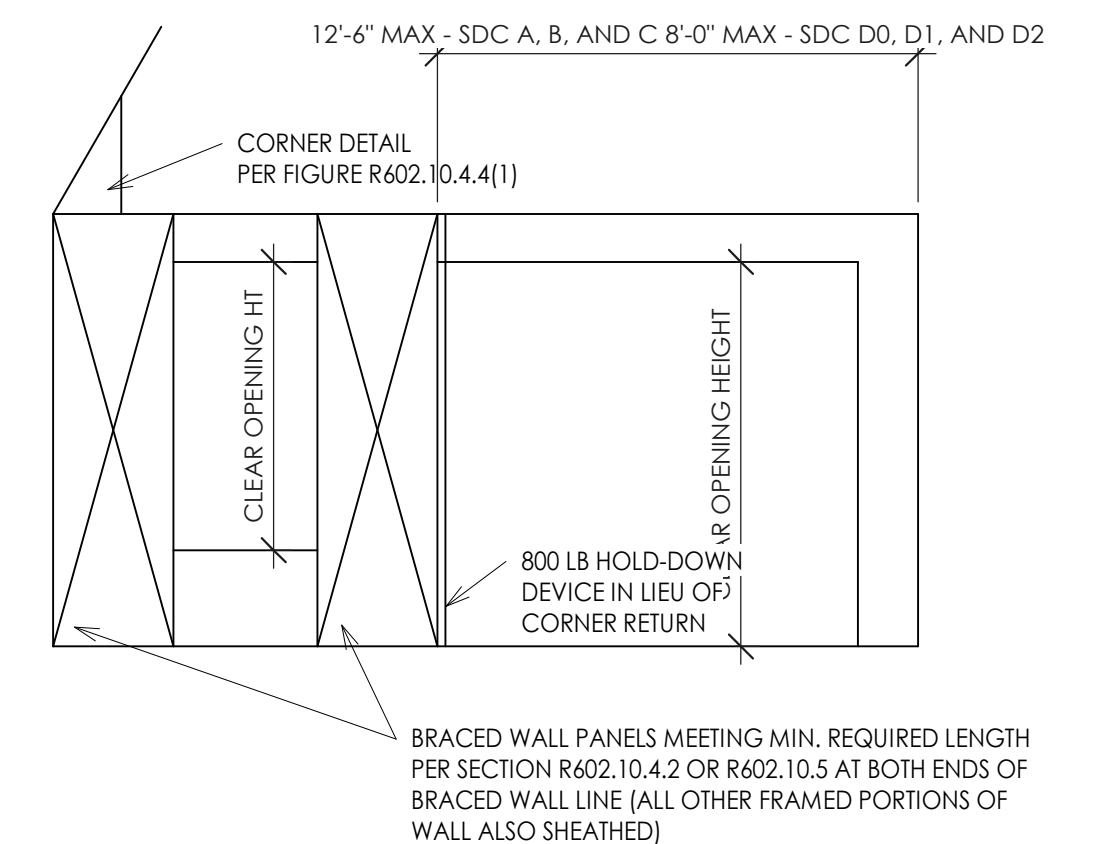
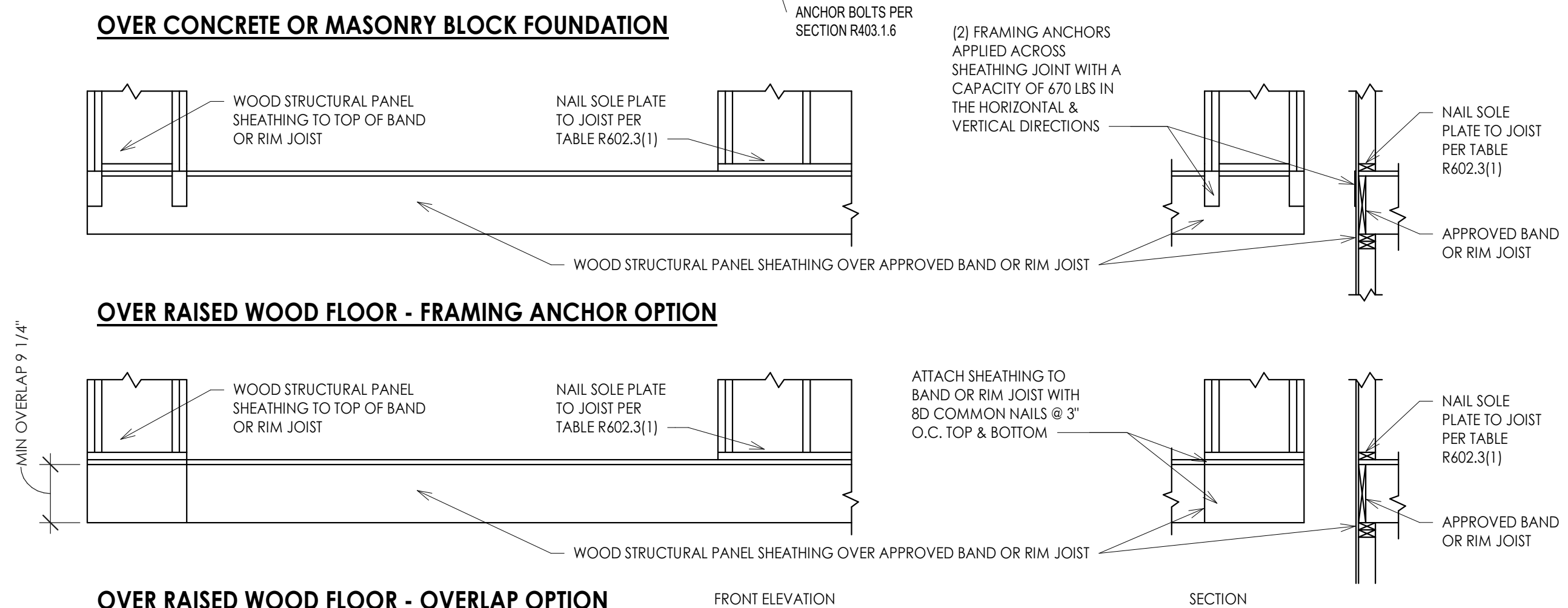


FIGURE R602.10.4.4(5) BRACED WALL LINE WITH CONTINUOUS SHEATHING - FIRST BRACED WALL PANEL AWAY FROM END OF WALL LIE WITH HOLD-DOWN



OVER RAISED WOOD FLOOR - OVERLAP OPTION

FIGURE R602.10.6.4 METHOD CS-PF-CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION

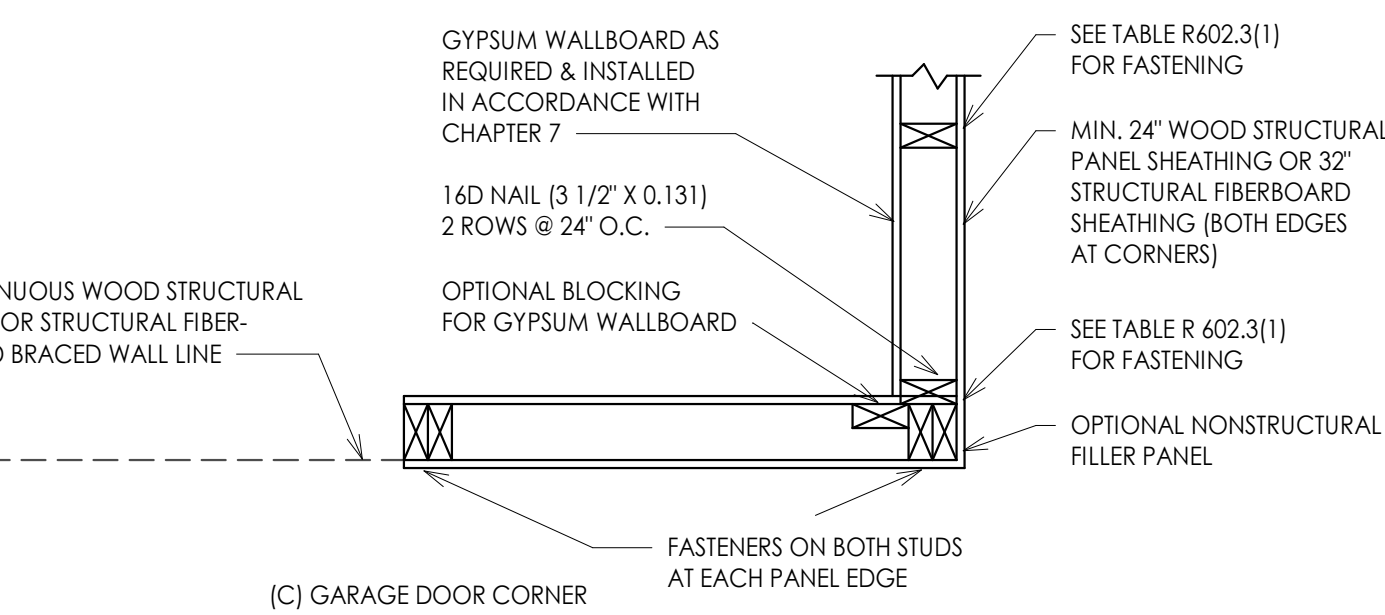


FIGURE R602.10.4.4(1) TYPICAL EXTERIOR CORNER FRAMING FOR CONTINUOUS SHEATHING

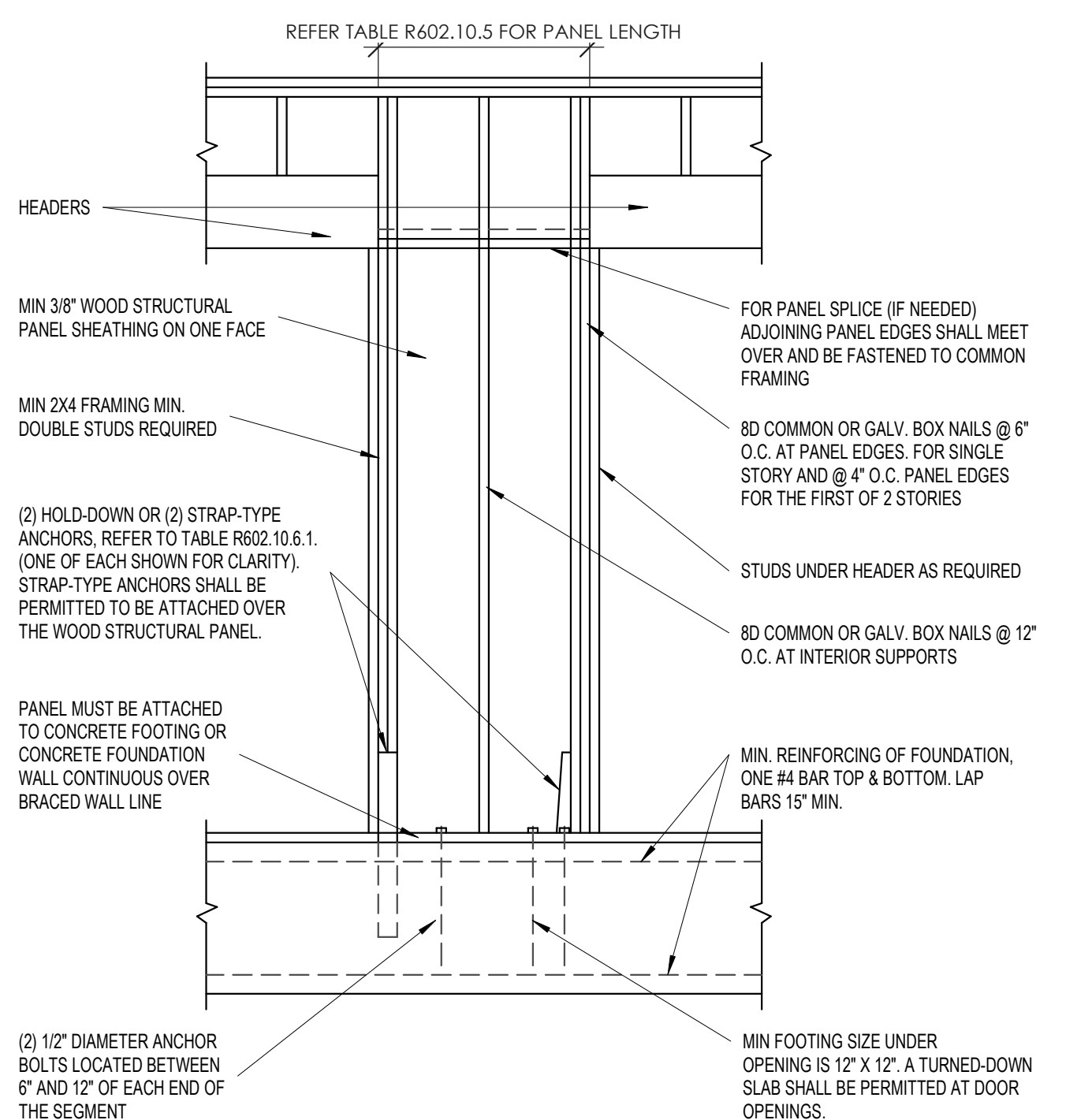
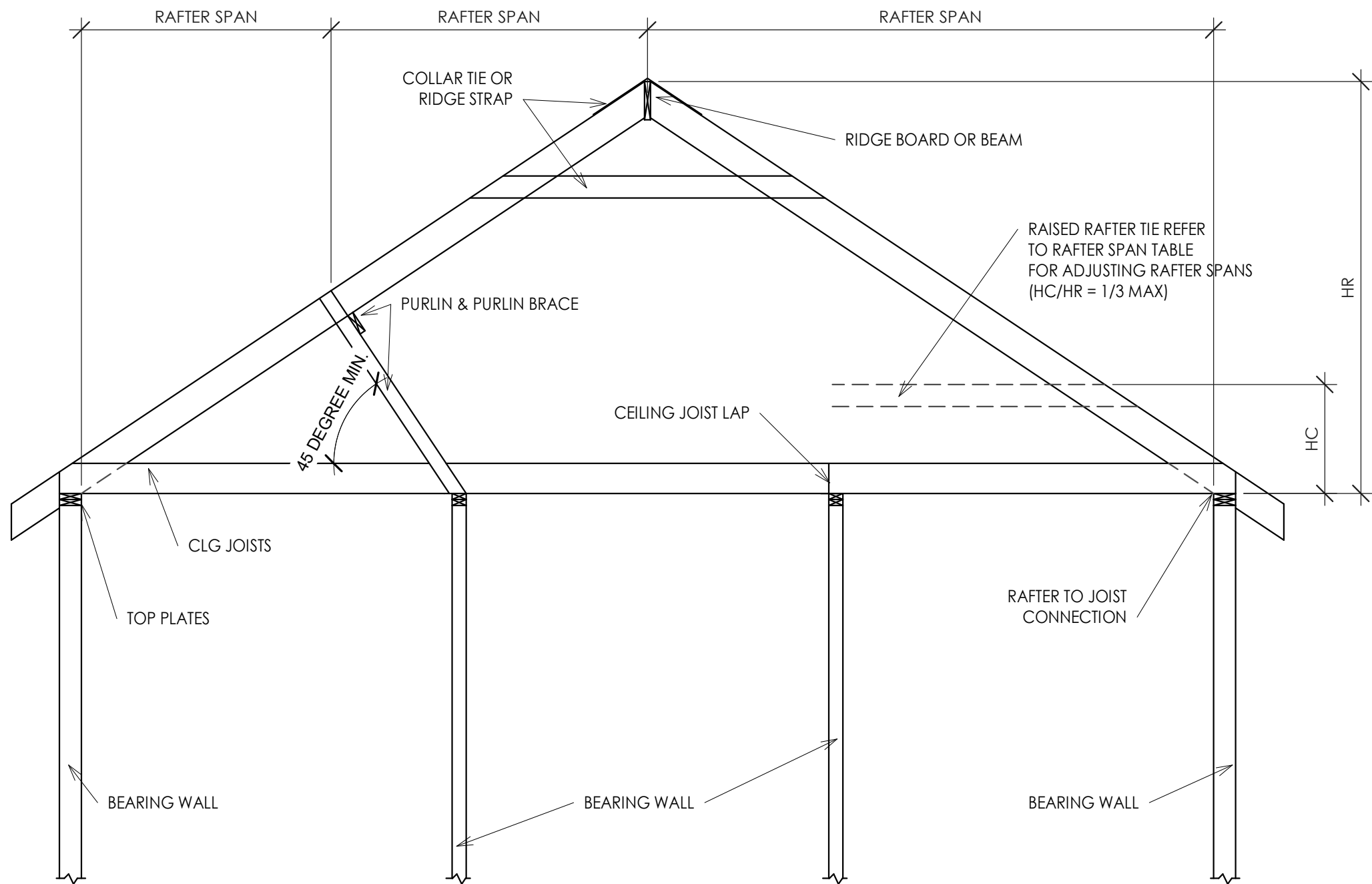


FIGURE R602.10.6.1 METHOD ABW - ALTERNATE BRACED WALL PANEL

NOTE:
IMAGINATION DESIGNS, LLC DOES NOT MAKE A SITE VISIT OR INVESTIGATE THE SLOPE OF THE LAND OR OTHER OBSTACLES THAT REQUIRE ADJUSTMENT TO THE PLACEMENT OF THE HOME, SIDEWALKS, FENCES, DRIVEWAYS, TREES, OR MAILBOXES ON THE LOT. BUILDER TO VERIFY ALL SETBACKS AND EASEMENTS AND PROPERTY LINES ARE CORRECT AND NOTIFY THE DESIGNER OF ANY CORRECTIONS NECESSARY. CONTRACTOR AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS IMAGINATION DESIGNS, LLC FOR ANY PROBLEMS THAT MAY ARISE BEFORE, DURING, OR AFTER THE CONSTRUCTION OF THIS RESIDENCE, AND SHALL ASSUME FULL RESPONSIBILITY FOR ALL ENGINEERING AND CITY CODE CONSTRUCTION PARAMETERS. CONTRACTOR SHALL VERIFY AND ASSUME FULL RESPONSIBILITY FOR ALL DIMENSIONS AND SPECIFICATIONS ON THESE PLANS. START OF WORK SHALL MEAN FULL ACCEPTANCE OF THESE TERMS.

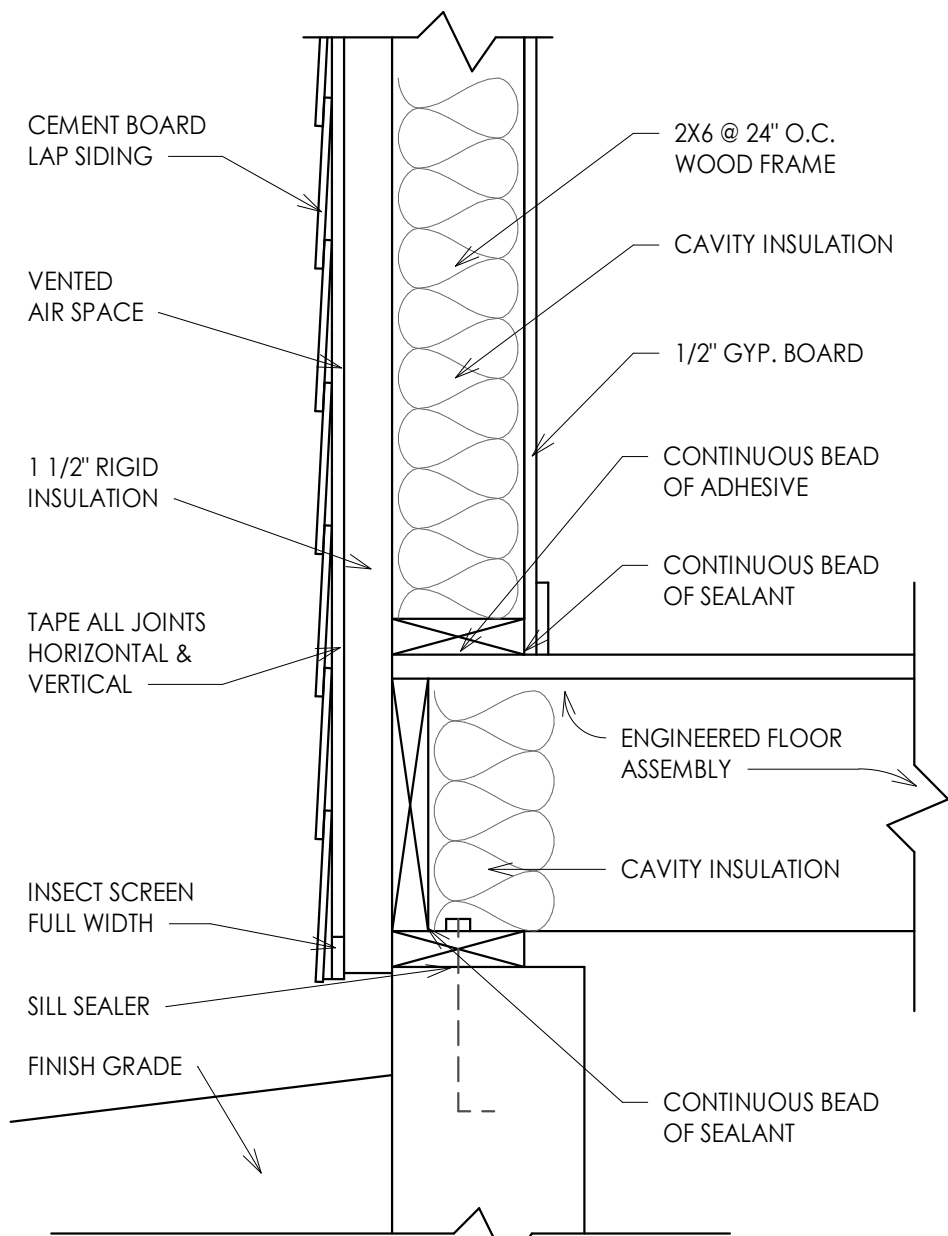
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FRAME CRICKETS IN ALL DEAD VALLEYS, ENSURE POSITIVE DRAINAGE AND PROPER FLASHING IN ALL LOCATIONS AND AGAINST ALL ROOF / WALL CONNECTIONS

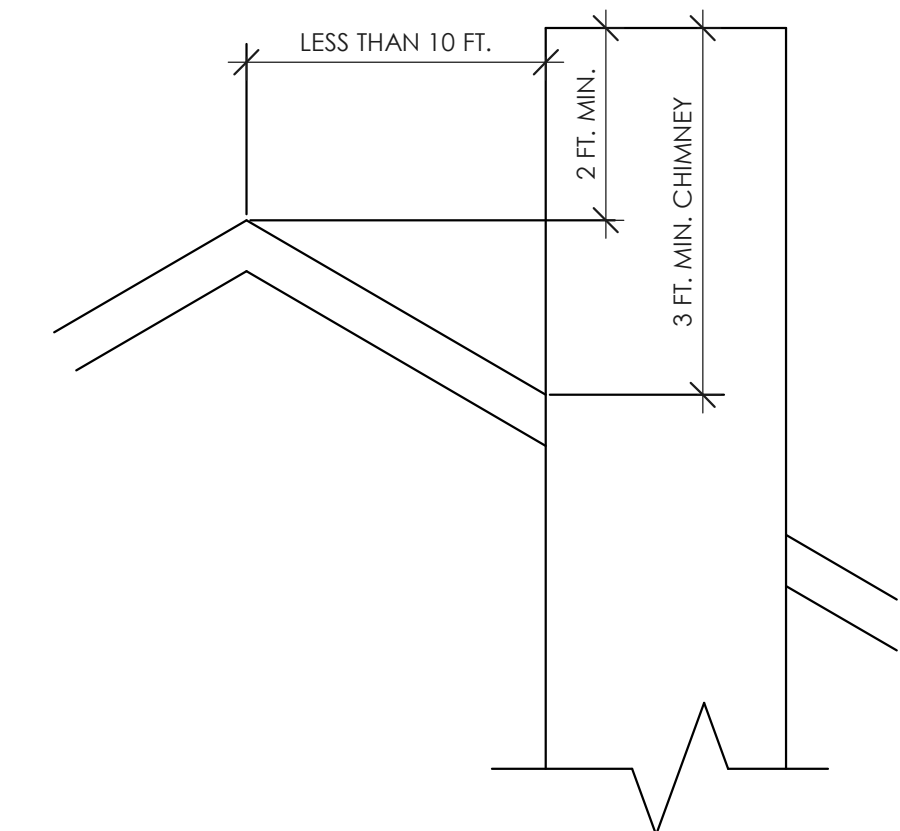
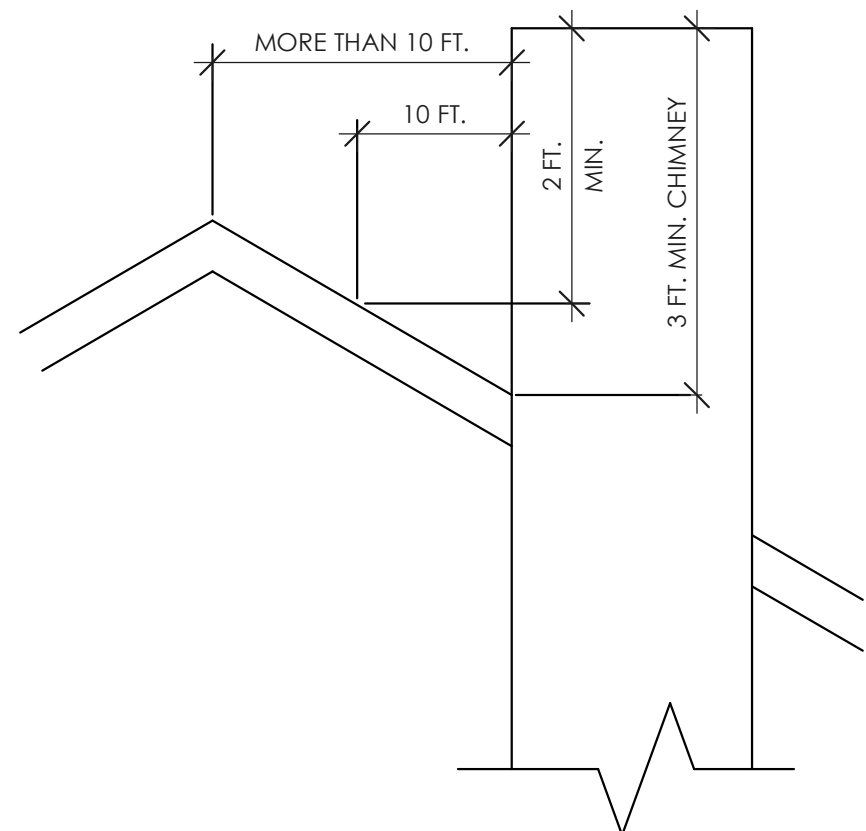


PURLIN FRAMING IRC R802.4.5
3/8" = 1'-0"

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OPTIONAL ADVANCED FRAMING METHOD



CHIMNEY REQUIREMENTS
1/2" = 1'-0"

NOTES:

R314.2: TREAD WIDTH 10" MIN. WITH A 1" NOSING. RISER HEIGHT 7-3/4" MAX. TREADS AND RISERS SHALL BE UNIFORM.

R312.2: LENGTH AND WIDTH OF LANDING NOT LESS THAN THE WIDTH OF THE STAIRWAY.

R314.1: STAIR WIDTH 36" MIN.

R315.1: ALL STAIRWAY HAVING 4 OR MORE RISERS ABOVE A FLOOR OR GRADE, SHALL BE EQUIPPED WITH HANDRAILS LOCATED NOT LESS THAN 34 NOR MORE THAN 38 INCHES ABOVE THE LEADING EDGE OF A TREAD.

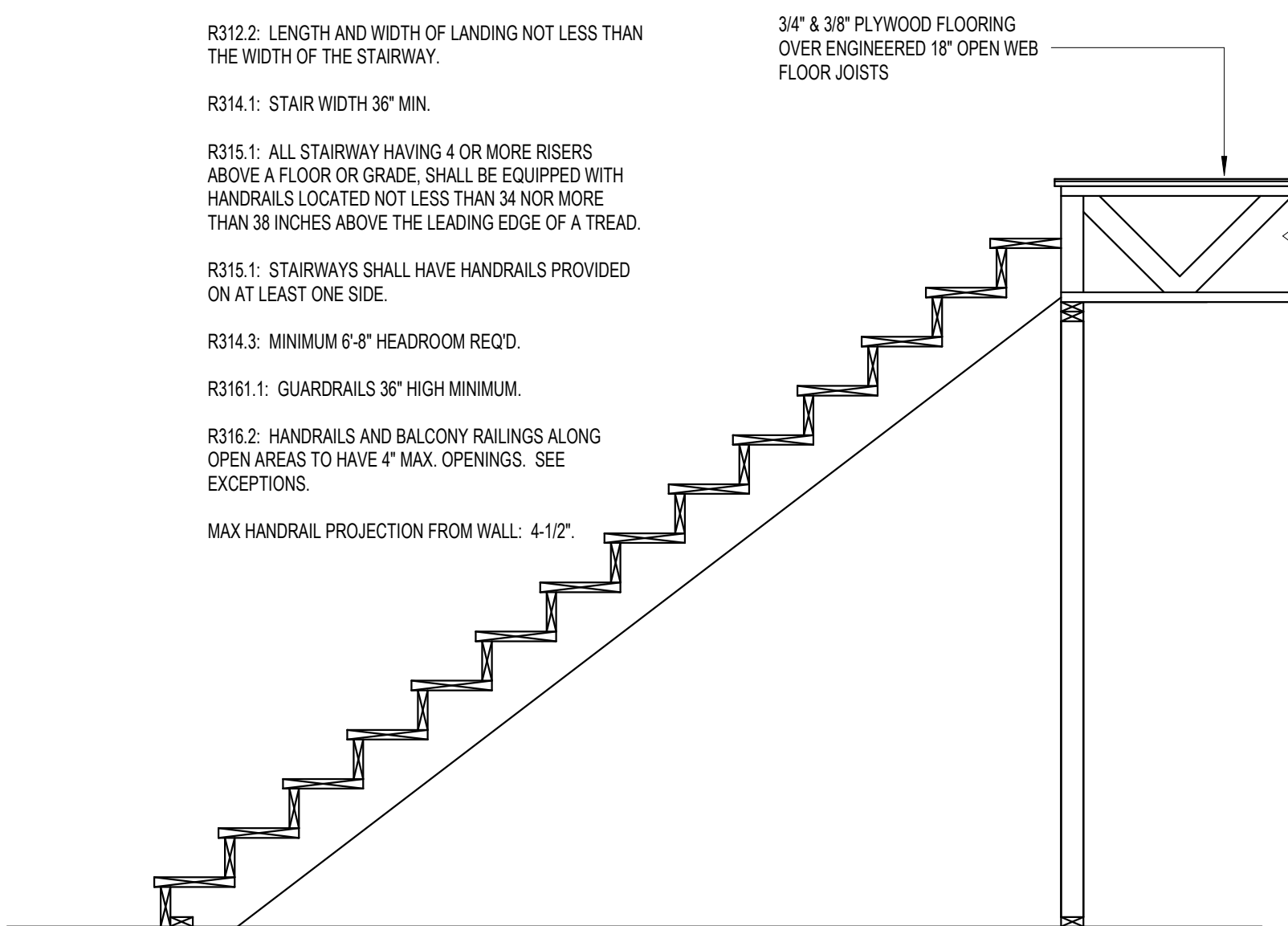
R315.1: STAIRWAYS SHALL HAVE HANDRAILS PROVIDED ON AT LEAST ONE SIDE.

R314.3: MINIMUM 6'-8" HEADROOM REQ'D.

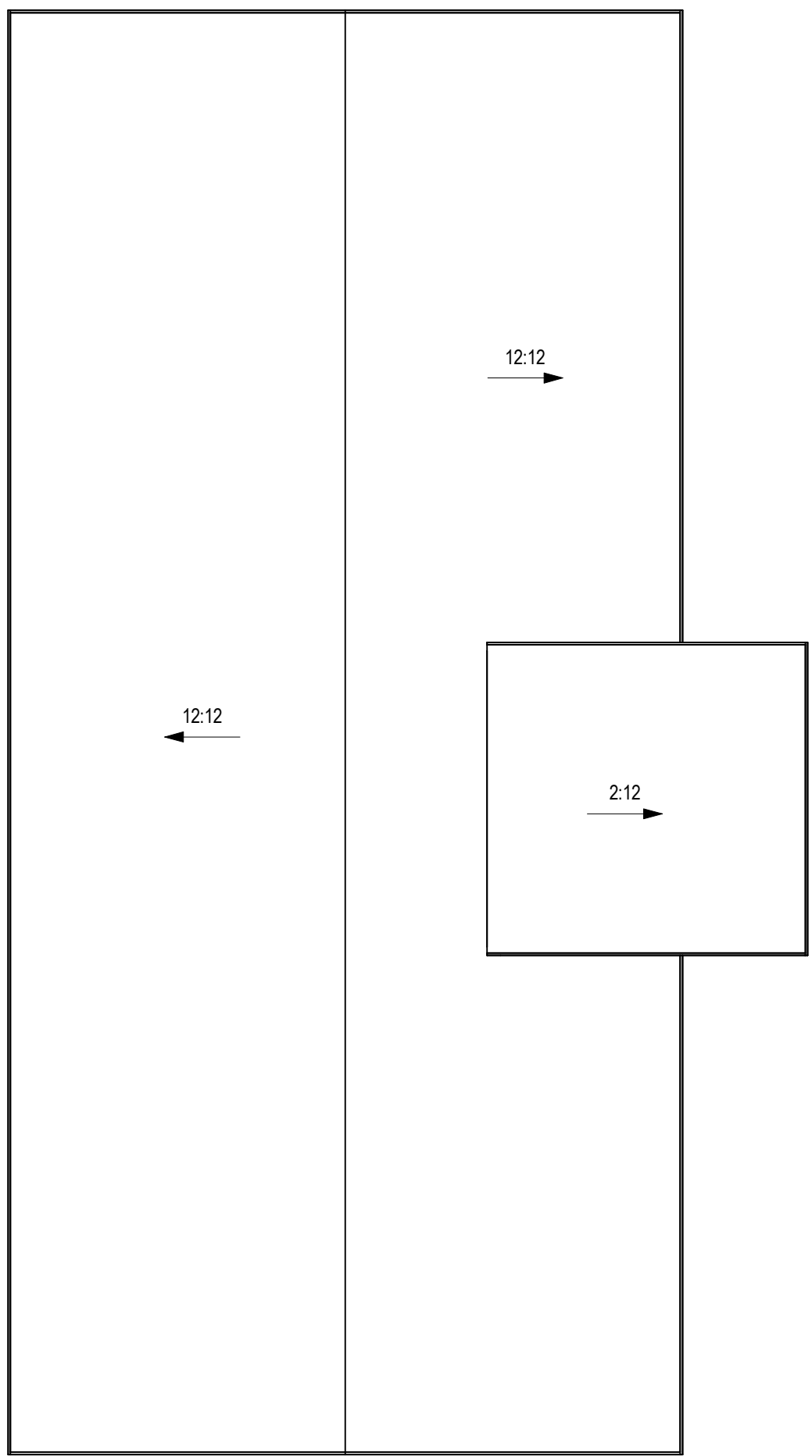
R316.1: GUARDRAILS 36" HIGH MINIMUM.

R316.2: HANDRAILS AND BALCONY RAILINGS ALONG OPEN AREAS TO HAVE 4" MAX. OPENINGS. SEE EXCEPTIONS.

MAX HANDRAIL PROJECTION FROM WALL: 4-1/2".



STAIR DETAILS
1/2" = 1'-0"

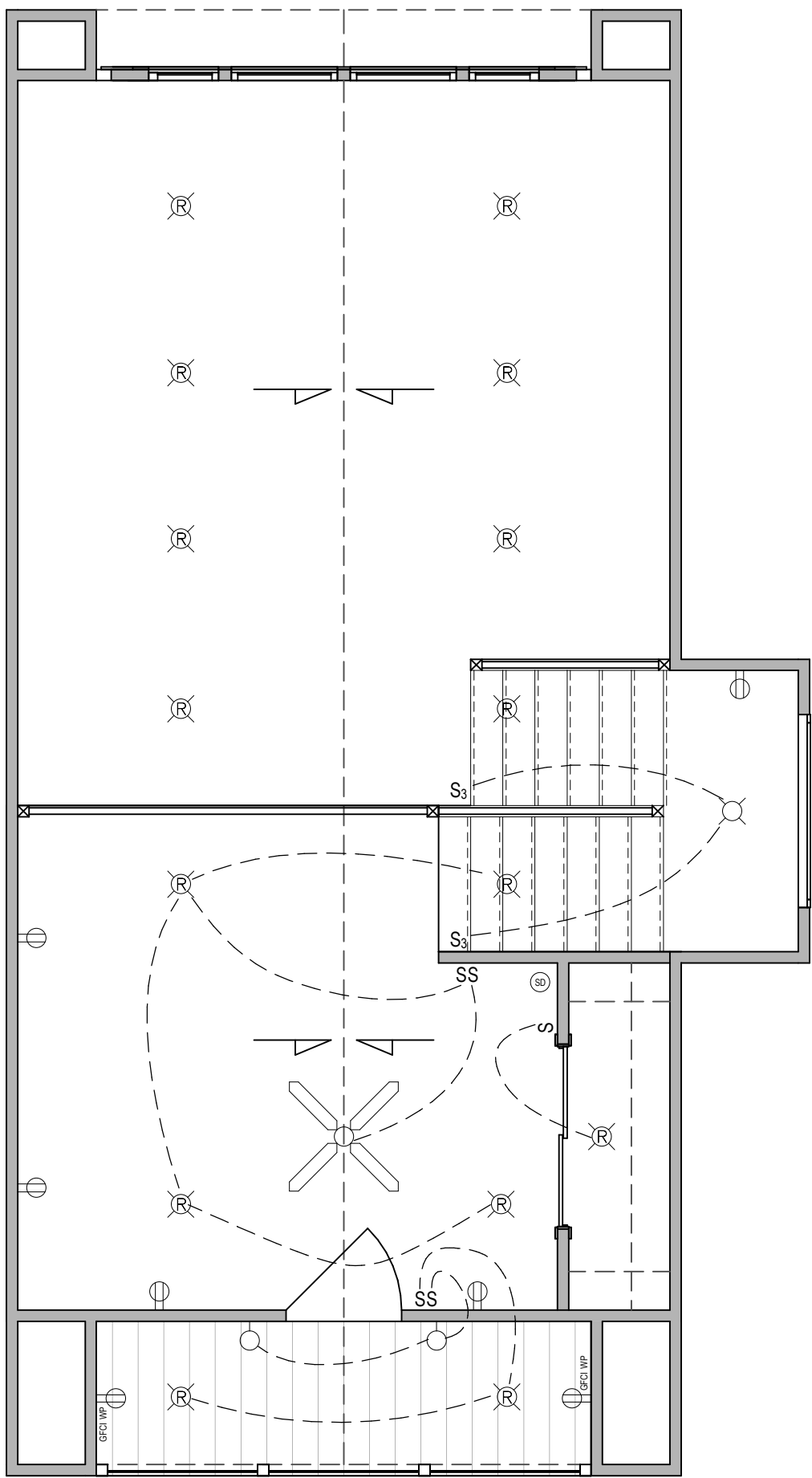


ROOF PLAN
1/4" = 1'-0"

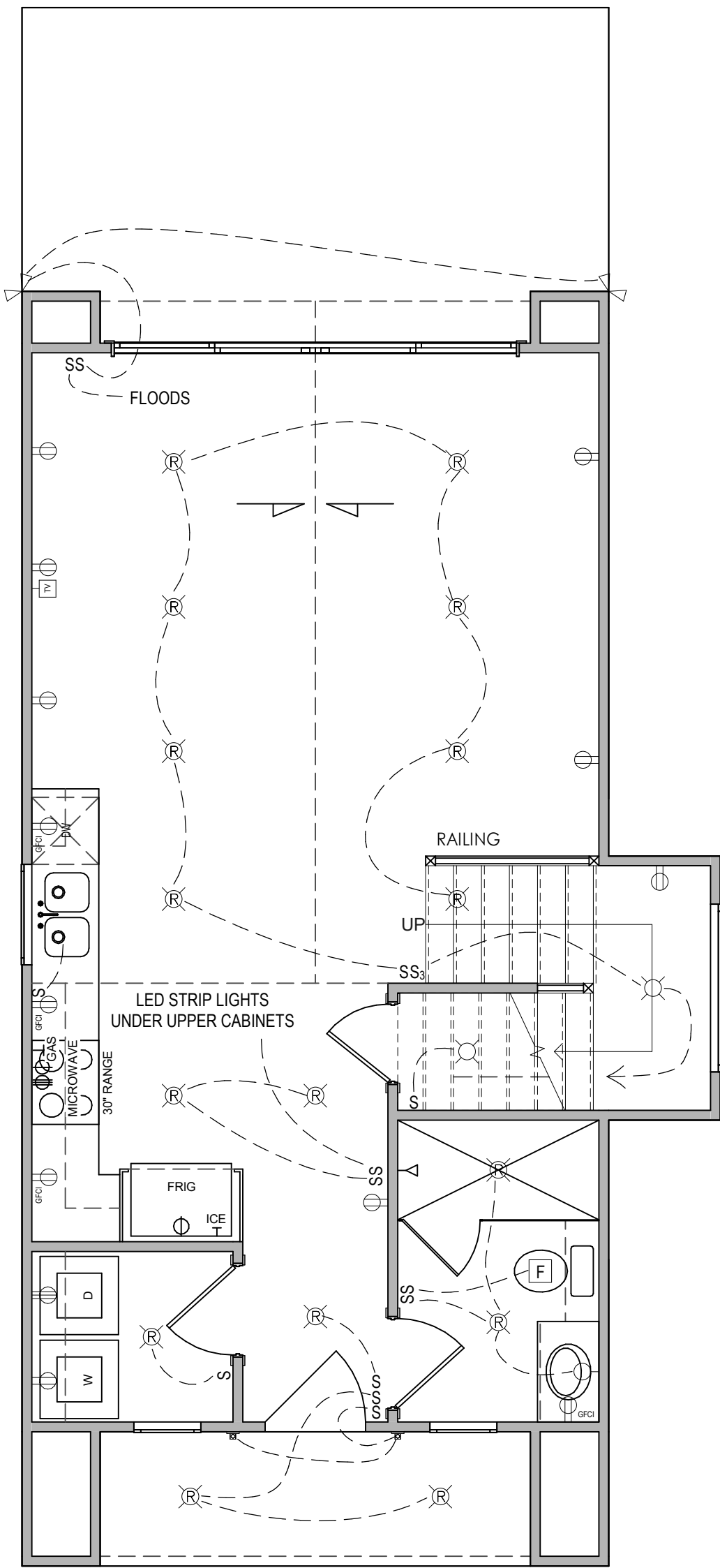
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SYMBOLS

	120V DUPLEX RECEPTACLE		WALL MOUNT LIGHT FIXTURE
	120V / 20A SINGLE RECEPTACLE		RECESSED LIGHT FIXTURE
	QUADRUPLEX RECEPTACLE		LIGHT FIXTURE
	240V / 15A RECEPTACLE		FLOOD LIGHT
	120V GFCI DUPLEX RECEPTACLE		FLUORESCENT LIGHT FIXTURE
	120V GFCI SINGLE RECEPTACLE		TELEPHONE
	120V GFCI WEATHER PROOF RECEPTACLE		TELEVISION
	120V SWITCHED EAVE RECEPTACLE		FAN VENTED OUTSIDE
	SINGLE SWITCH		SPEAKER
	3-WAY SWITCH		SMOKE & CARBON MONOXIDE DETECTOR COMBO
	4-WAY SWITCH		HOSE BIB
	DIMMER SWITCH		



② 2ND FLOOR ELECTRICAL
1/4" = 1'-0"



① 1ST FLOOR ELECTRICAL
1/4" = 1'-0"

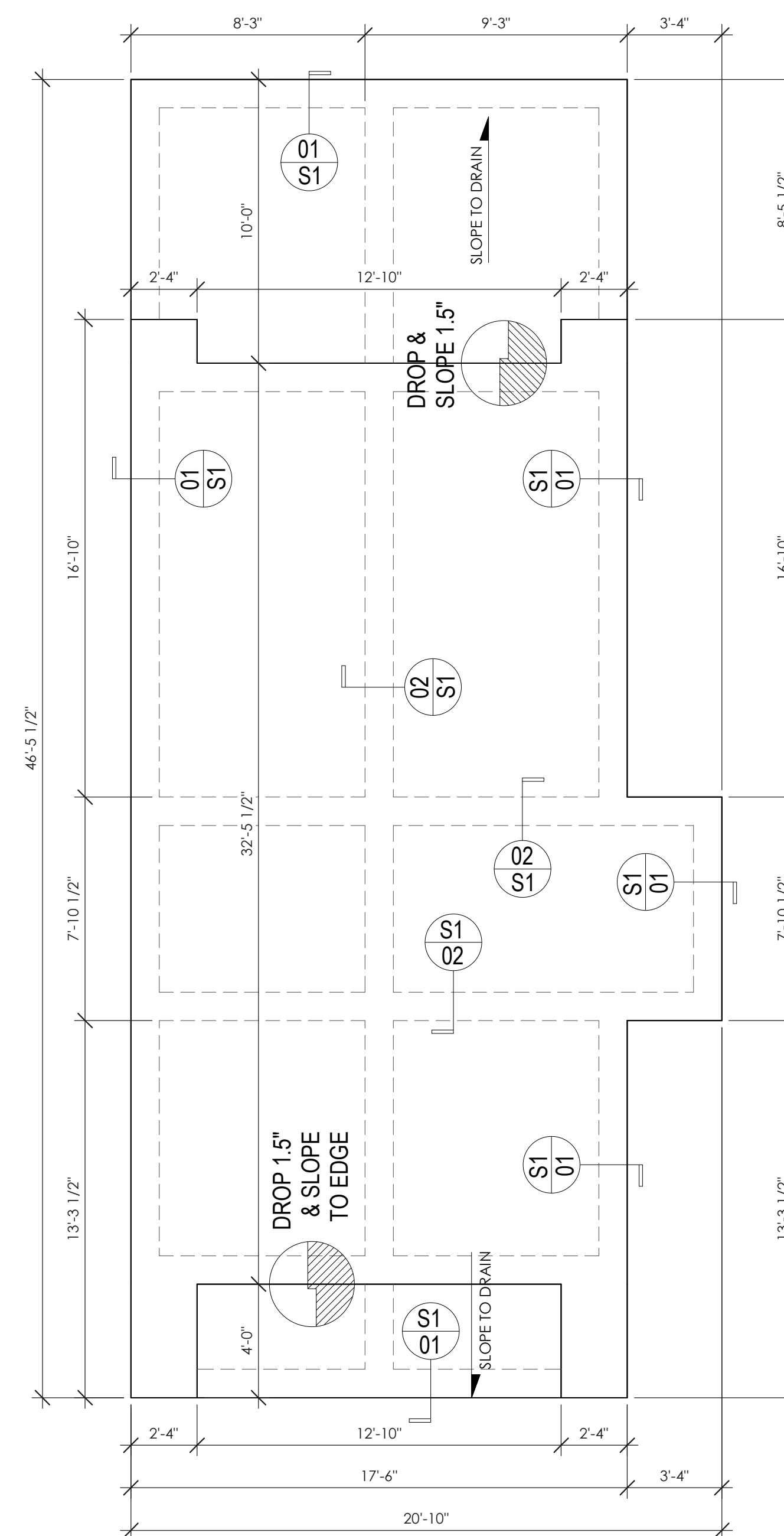
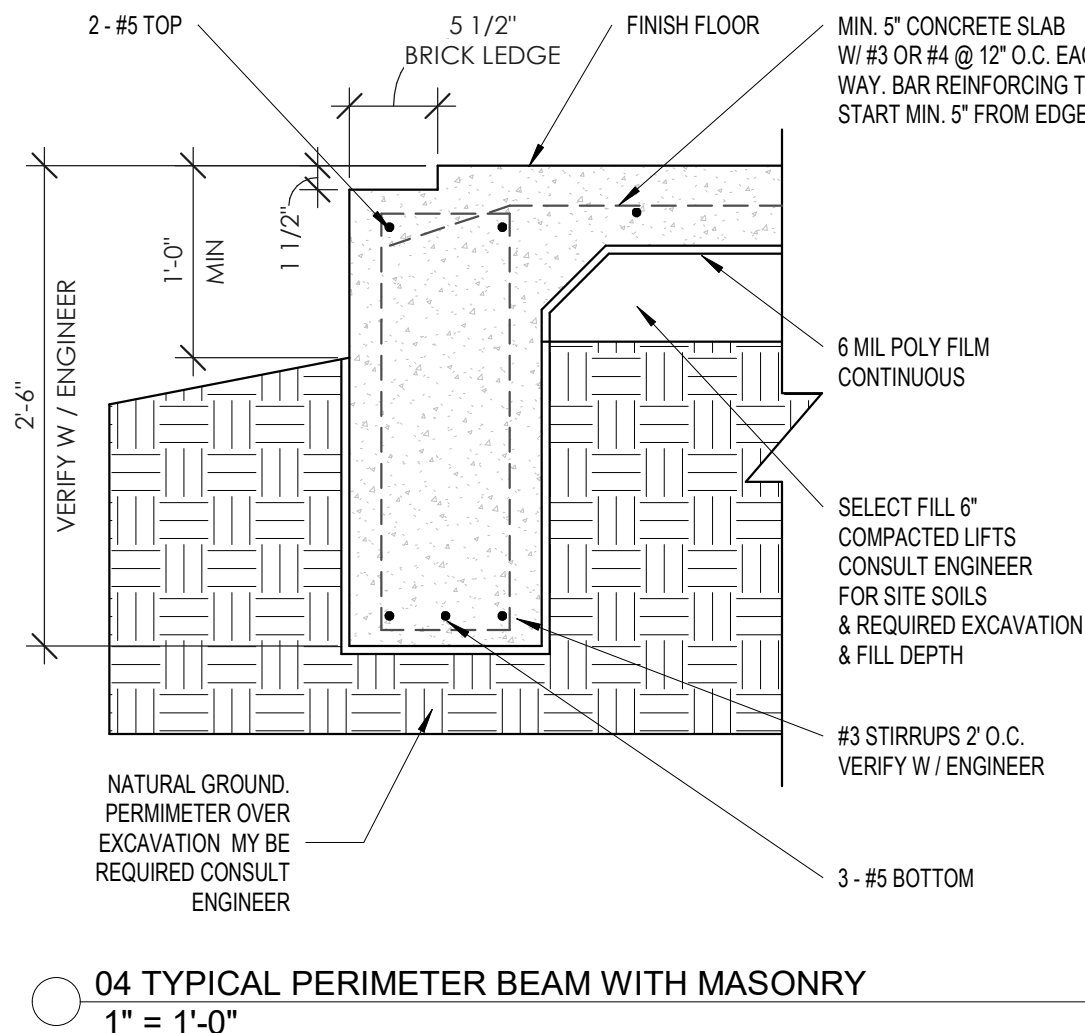
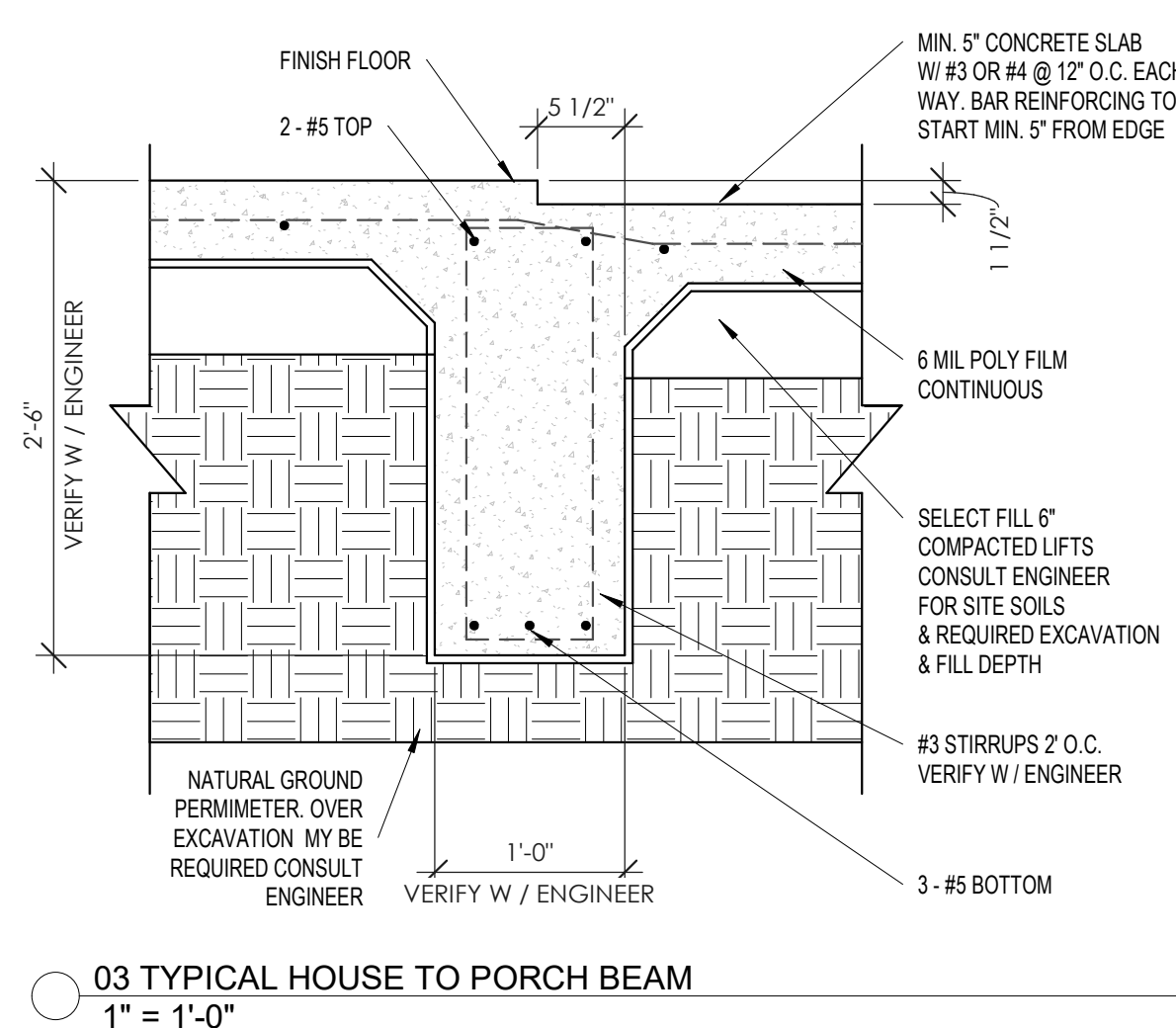
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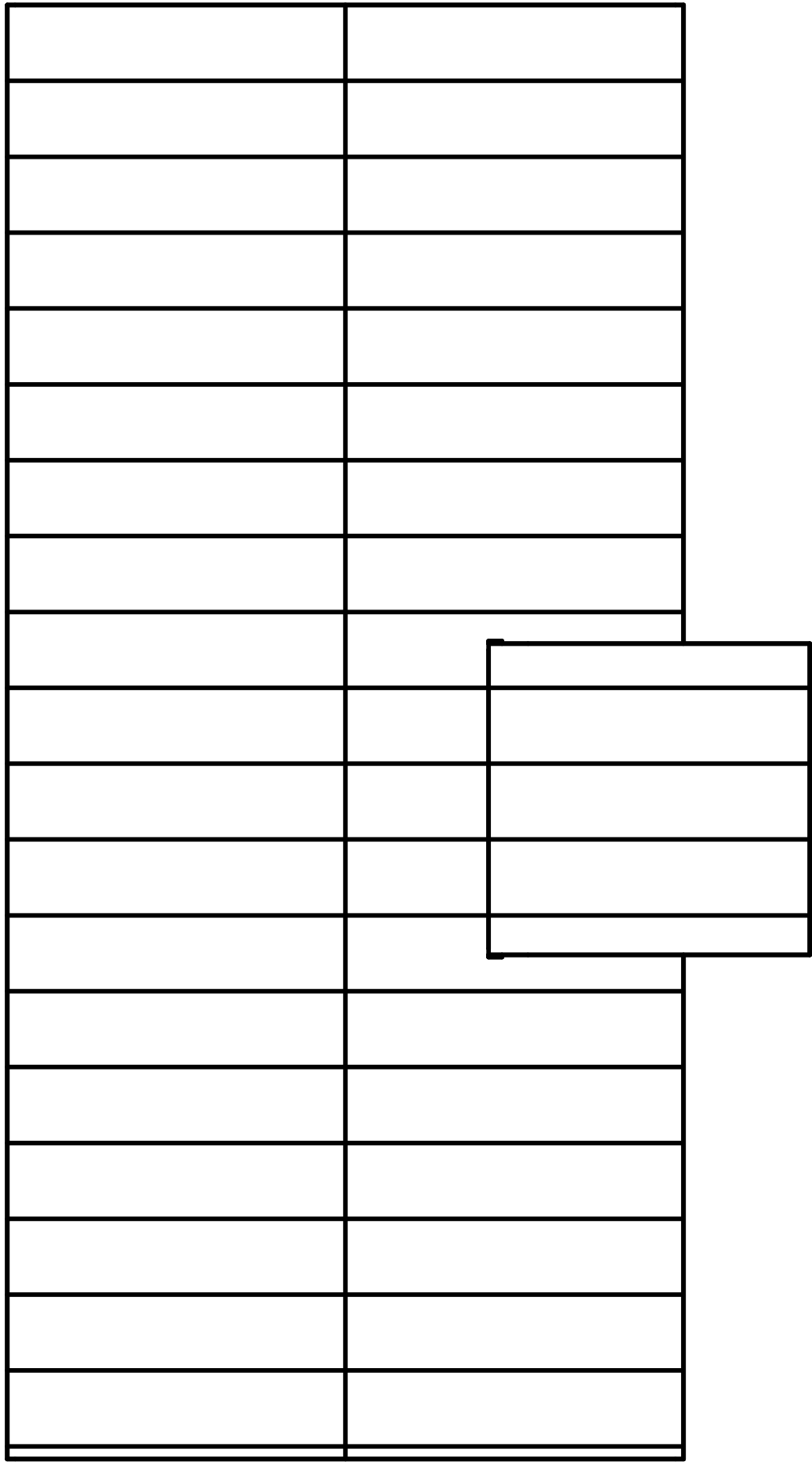
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1. FOUNDATION DESIGN IS GENERAL AND NOT SPECIFIC FOR PARTICULAR SITE CONDITIONS. THEREFORE, BUILDER SHALL ASSUME RESPONSIBILITY FOR APPLICABILITY OF THIS FOUNDATION DESIGN. LOCAL CODES SUPERCEDE INFORMATION PROVIDED ON THESE PLANS. IT IS HIGHLY RECOMMENDED A STRUCTURAL ENGINEER BE CONSULTED AND SOILS TEST BE PERFORMED. THERE MAY BE EXPANSIVE SOILS OR LACK OF STABLE ROCK REQUIRING PIERS, EXCAVATION AND SOIL REPLACEMENT, AND OTHER MEASURES TO CONTROL EXPANSION AND MOVEMENT OF SOILS.
2. CONTRACTOR SHALL VERIFY AND COORDINATE LOCATIONS OF ALL FIXED EQUIPMENT, ELECTRICAL RECEPTACLES, CONDUIT, PLUMBING LOCATIONS, AND THRESHOLD BLOCKOUTS.
3. REMOVE 6" MIN ROOTS, TOPSOIL, DEBRIS UNIFORMLY THROUGHOUT THE SITE.
4. GROUND SURFACE SHALL BE GRADED TO ENSURE ADEQUATE DRAINAGE OF SURFACE WATER AWAY FROM THE FOUNDATION. IN NO INSTANCE SHOULD WATER BE ALLOWED TO POND IN THE VICINITY OF THE FOUNDATION EITHER DURING OR AFTER CONSTRUCTION.
5. VERIFY ALL DIMENSIONS & SITE CONDITIONS PRIOR TO COMMENCING ANY WORK.
6. BOTTOMS OF ALL BEAMS SHALL EXTEND 6" MIN. INTO UNDISTURBED SOIL.
7. ALL CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI
8. NO DEAD-END BEAMS ALLOWED
9. ALL BEAM REINFORCEMENT SHALL EXTEND TO WITHIN 1.5' OF EXTERIOR FORMS
10. BEAM REINFORCING SHALL BE TIED & SUPPORTED EVERY 3'-0" MIN.
11. LAP ALL BAR REINFORCING 40 DIAMETERS
12. ALL REINFORCING TO BE CONTINUOUS
13. ALL REINFORCING TO HAVE MIN OF 1.5" CONCRETE COVER
14. FINISHED FLOOR SHALL BE MIN. 12" ABOVE EXISTING GRADE
15. MIN. 5" CONCRETE SLAB W/ #3 OR #4 @ 12" ON CENTER EACH WAY. BAR DIAMETERS TO START MIN. 5" FROM EDGE

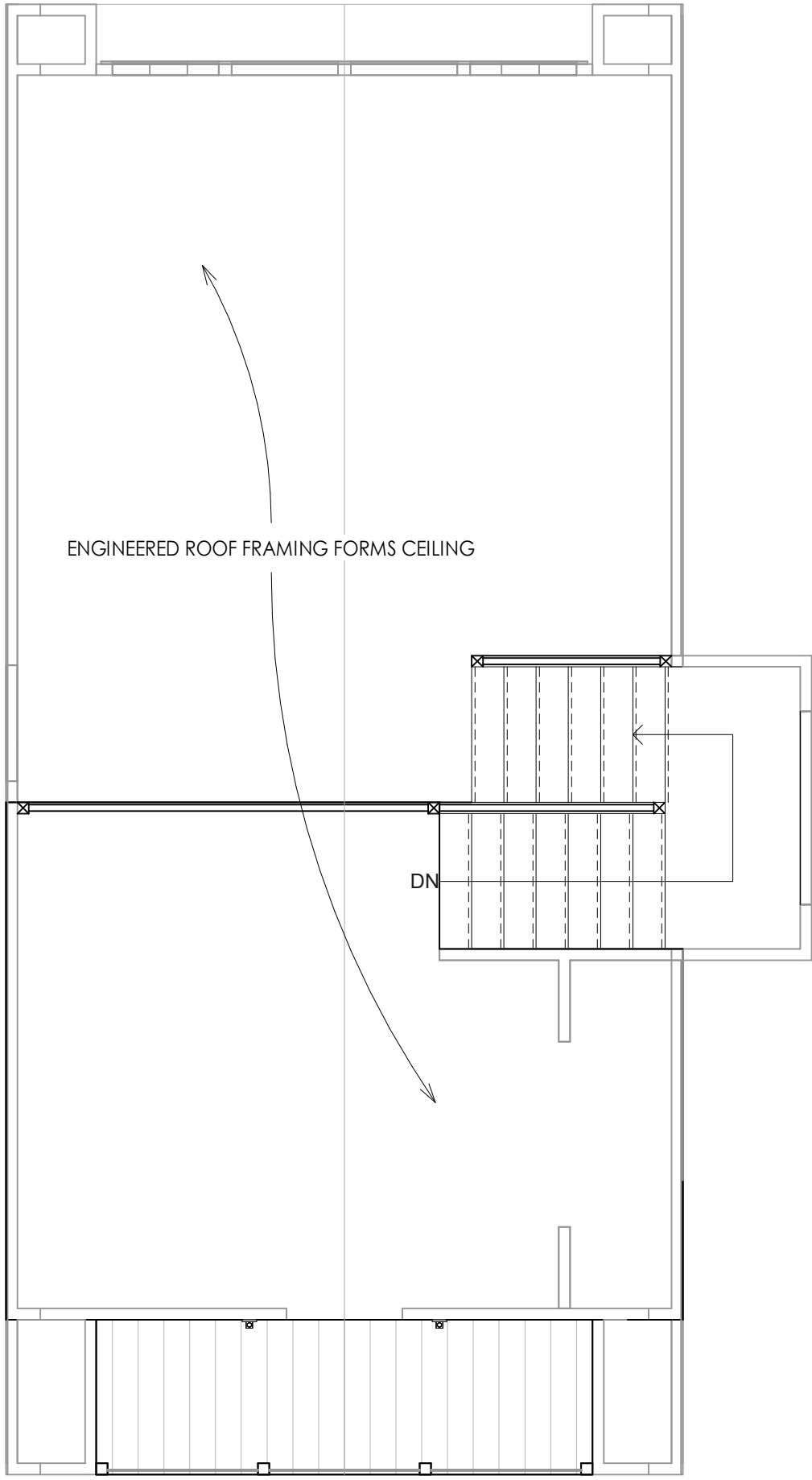


① FOUNDATION
1/4" = 1'-0"

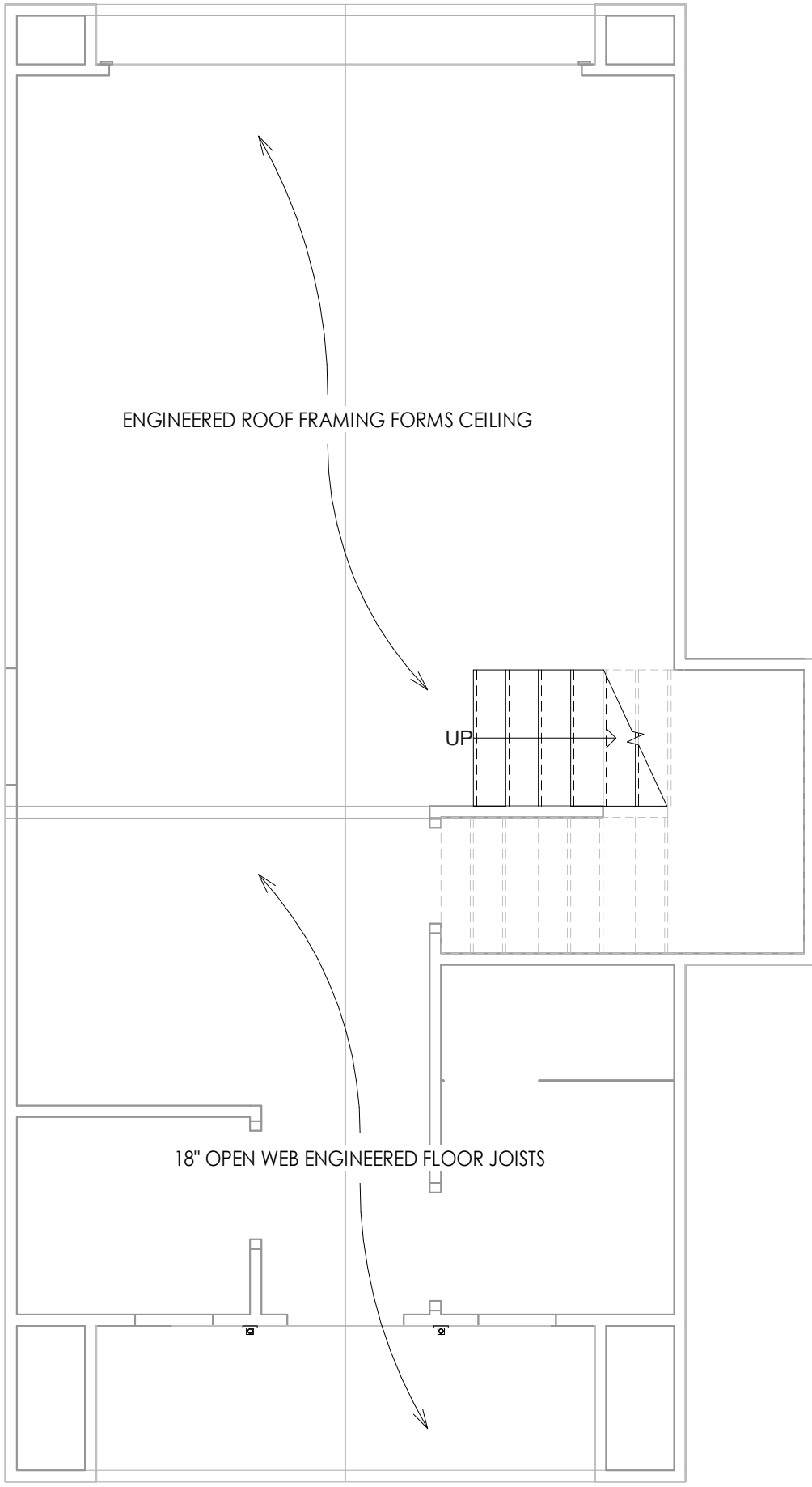
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3 ROOF FRAMING PLAN
1/4" = 1'-0"



2 2ND FLOOR CEILING FRAMING PLAN
1/4" = 1'-0"



1 CEILING FRAMING PLAN
1/4" = 1'-0"

GENERAL NOTES:

1. ALL FRAMING SHALL BE PER LOCAL BUILDING CODES.
2. CONSULT ALL SPANS WITH LOCAL BUILDING CODES. RAFTERS SUGGESTED REFER TO: CURRENT IRC SECTION R802.4.1. CEILING JOISTS SUGGESTED REFER TO: CURRENT IRC SECTION R802.5.1. SELECT CORRECT SPAN TABLES FOR APPLICABLE LOADS FOR YOUR AREA AND SPECIFIC APPLICATION IN THE STRUTURE.
3. ALL JOISTS & RAFTERS SHALL BE BRACED PER LOCAL BUILDING CODES. SUGGESTED REFER TO CURRENT IRC SECTION R802.4.5
4. ALL FASTENERS, STRAPS, NAILS, ETC PER LOCAL BUILDING CODES
5. JOIST, BEAM, & RAFTER SIZING PER LOCAL BUILDING CODES
6. JOIST HANGERS PER LOCAL BUILDING CODES
7. HEADERS PER LOCAL BUILDING CODES
8. ALL FLOOR TRUSSES IF APPLICABLE SHALL BE ENGINEERED BY TRUSS MANUFACTURER AND INSTALLED PER THEIR SPECIFICATIONS
9. ALL RAFTER / CEILING TRUSSES IF USED SHALL BE ENGINEERED BY MANUFACTURER AND INSTALLED PER THEIR SPECIFICATIONS
10. JOISTS ARE DRAWN AT 16" O.C. RAFTERS DRAWN AT 24" O.C.
11. SHAVE JOINT AT JOISTS AND JOIST HANGERS SO BOTTOM OF HANGER METAL IS FLUSH WITH THE BOTTOM OF THE REST OF THE JOIST TO AVOID SHEETROCK ISSUES.
12. THIS IS A GENERAL LAYOUT AND WILL NOT BE DETAILED ENOUGH TO CORRECT FOR RAFTER VALLEYS HITTING JOISTS. FRAME AROUND AS NECESSARY.
13. DEAD WOOD NOT DEPICTED FOR SHEETROCK INSTALLATION. ENSURE ALL CORNERS ALLOW FOR ATTACHING SHEETROCK.
14. AT EXTERIOR WALL LOCATIONS WHERE A GABLE FACE OCCURS, CEILING JOIST SPACING IS DESIGNED TO ALIGN TO THE SIDE OF THE RAFTERS, WITH THE FINAL RAFTER STARTING FLUSH WITH THE OUTSIDE FACE OF THE GABLE WALL. REFER ROOF FRAMING PLANS.
15. WHERE POSSIBLE, JOIST LAYOUT IS INTENDED TO ALLOW FOR A FULL SHEET OF SHEETROCK AT ONE END AND WORK IT'S WAY DOWN.
16. 16" O.C. SPACING IS INTENDED TO ALIGN WITH 24" RAFTER SPACING, AND ALLOW FOR 1/2" SHEETROCK. IF 24" JOIST SPACING IS USED, 5/8" SHEETROCK WILL BE NECESSARY.

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